

RICHMOND 300 ZONING CODE REFRESH

Open House Feedback Discussion &
Development Standards Presentation
July 2025 ZAC Meeting



TODAY'S PRESENTATION

- 1 Working Groups Feedback**
- 2 Open Houses & Other Outreach Feedback**
- 3 Development Standard Goals**

WORKING GROUPS FEEDBACK

FEEDBACK FROM OPEN HOUSES & OTHER OUTREACH

PANEL DISCUSSION & OPEN HOUSES (JUNE 24-26)

TOTAL PEOPLE REACHED (SIGN-INS): **198**

TOTAL COMMENTS RECEIVED: **686**



Tuesday, 6/24, 6 - 7:30pm
Main Library

~31 people



Wednesday, 6/25, 4-7pm
Southside Community Center

~22 people



Thursday, 6/26, 9am - 12pm
City Hall Lobby

~50 people



Thursday, 6/26, 4-7pm
Main Library

~95 people

POP-UPS (JUNE 2025)

TOTAL PEOPLE REACHED (SIGN-INS AND HEADCOUNT): **~193**



Saturday, 6/14, 1:30 - 4:00pm
Multicultural Festival

~55 people



Friday, 6/27, 5 - 9:30pm
Sacred Heart Latino Festival

~76 people



Thursday, 6/28, 9am-1pm
Finance Fest @ The Life Church

~62 people

ROUNDTABLES (MAY-JUNE 2025)

TOTAL PEOPLE REACHED (SIGN-INS): ~50

- + 5/28 - **Community Ambassador Roundtable**
(Teens, Southside), Boys & Girls Club
(Virtual)
- + 6/23 - **HOME of VA** (Virtual)
- + 6/27 - **Community Ambassador Roundtable**
(Black Realtors and Developers, 6th District),
Pig & Brew
- + 6/28 - **Virginia Community Voice**,
Bellemeade Community Center



HIGH-LEVEL FEEDBACK

- + **Wide range of views** in support and opposition to the zoning code update
- + General agreement that **transitions between zones are needed**, particularly in lower density residential districts
- + Interest in micro-nodes with **improved transportation/connectivity**
- + Interest in more **design overlays for certain neighborhoods**, as well as **commercial overlays**



AREAS OF CONCERN OR DISAGREEMENT

AREAS OF CONCERN

- + Protections for **historic neighborhoods**
- + **Loss of green space/tree coverage** with increases in lot coverage

DIFFERING VIEWS ON

+ **Approach to Setbacks**

- + Some argue proposed setbacks are too narrow and don't leave enough unbuilt space on a lot
- + Others argue that setbacks should be eliminated entirely

+ **Approach to Mixed-Use Zoning Districts**

- + Particularly lower-density vs. higher density zones and where they are located, though general need for small commercial around the city acknowledged in many comments



DISCUSSION

- + *For **those who attended** the open houses or other engagement events, were there **other major themes that you heard**? (The full set of written comments received have been recorded and are being reviewed).*

DEVELOPMENT STANDARD GOALS

WHAT ARE DEVELOPMENT STANDARDS?

Development standards are located **separately in the zoning code from districts**. They can apply to all types of development, or only to specific sets, as outlined.

Development standards **augment the rules established under the districts** with more general provisions.

They fall under the following categories:

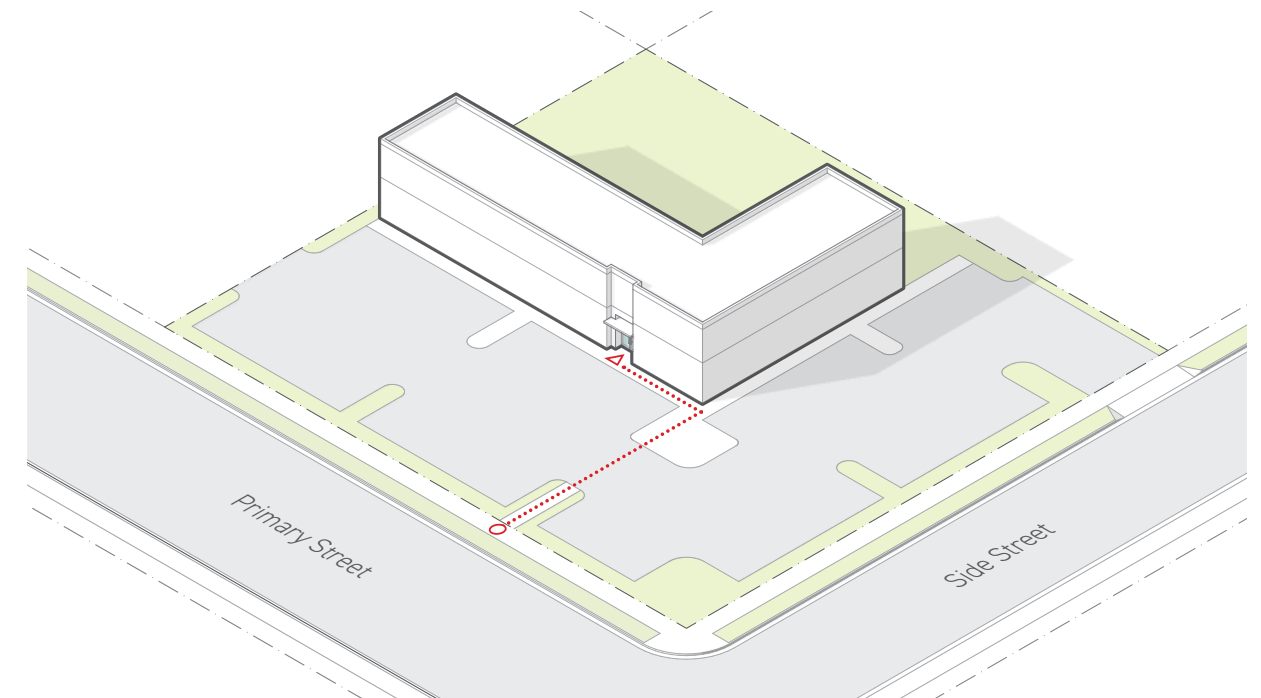
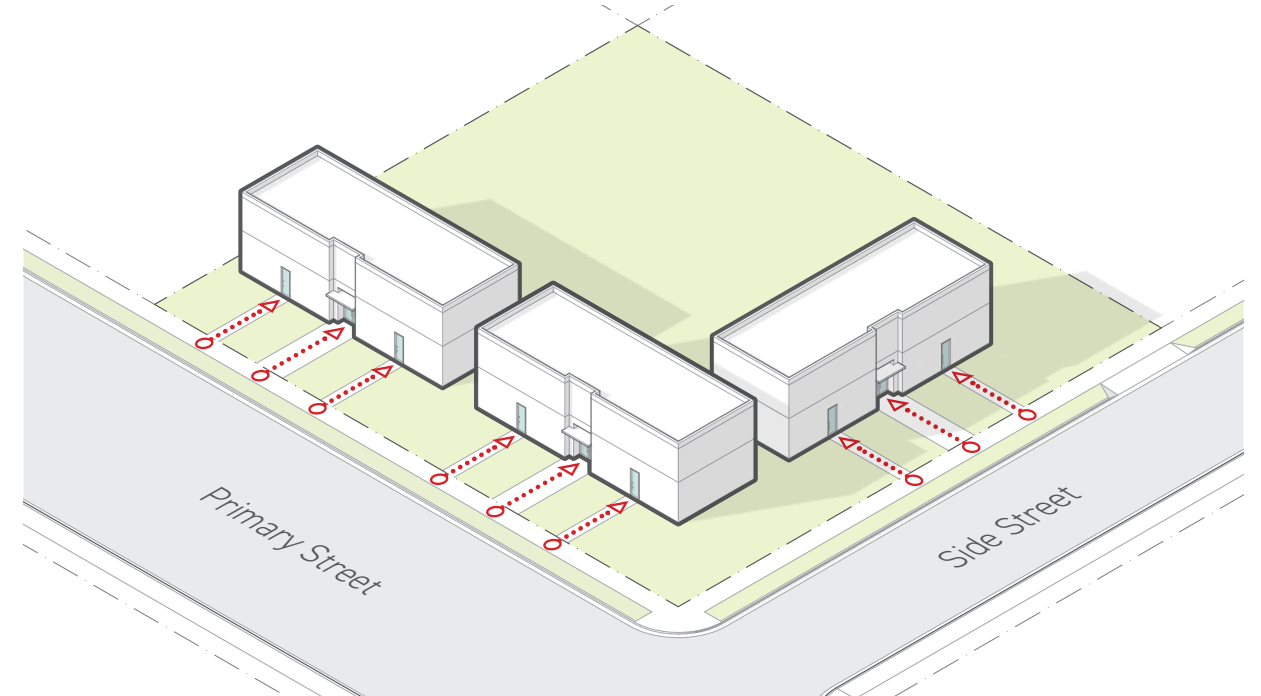
- **Mobility and access**
- **Transition and screening**
- **Site element screening**
- **Fences and walls**
- **Landscape and lighting**
- **Signs**
- **Affordability**

MOBILITY AND ACCESS

PEDESTRIAN ACCESS

Pedestrian access standards seek to...

- Improve and facilitate **pedestrian circulation** between the public realm and individual buildings and development sites
- Increase **external and internal connectivity** in and around development sites depending on zoning classification
- Establish **dimensional standards** for pedestrian walkways and entrances
- Richmond currently has standards for **pedestrian walkways within parking lots**, and more **generally offers incentives** to improve access on private property



MOBILITY AND ACCESS

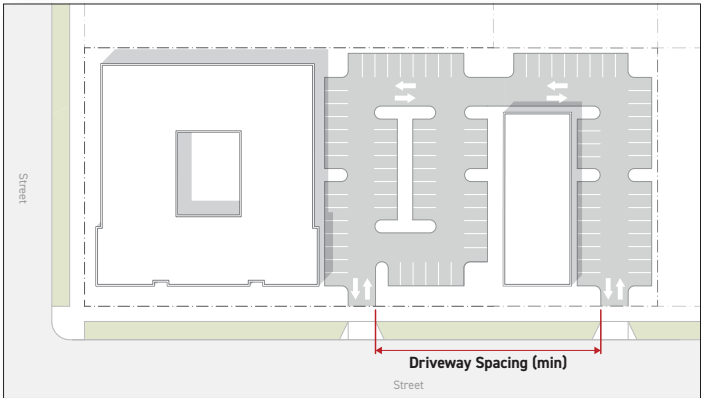
VEHICLE ACCESS

Vehicle access standards seek to **minimize conflicts** in the public right-of-way, **maintain sufficient access** to parking, and **mitigate negative impacts** on the public realm by requiring the **following design standards**:

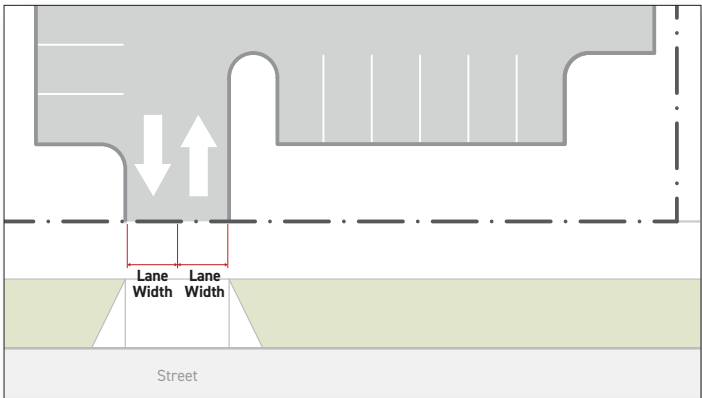
- **Driveway spacing** standards help create sufficient distance between adjacent driveways to **enable vehicle circulation** and **reduce conflicts** with other **vehicles, pedestrians, and cyclists**
- **Reduced driveway width** standards promote walkability in the public realm by **reducing pedestrian crossing distances** across **vehicle access ways**
- Richmond currently has standards for **parking lot and driveway design**

	Number of lanes per driveway (max)	Lane width (min/max)	
		Primary Street	Side Street
Driveway serving up to 6 parking spaces	1	8'/10'	8'/20'
Driveway serving 7 to 50 parking spaces	2	9'/11'	9'/11'
Driveway serving more than 50 parking spaces	2	9'/12'	9'/12'
Driveway serving a Heavy Commercial or Industrial Use	2	12'/20'	12'/20'

Driveway spacing



Driveway width

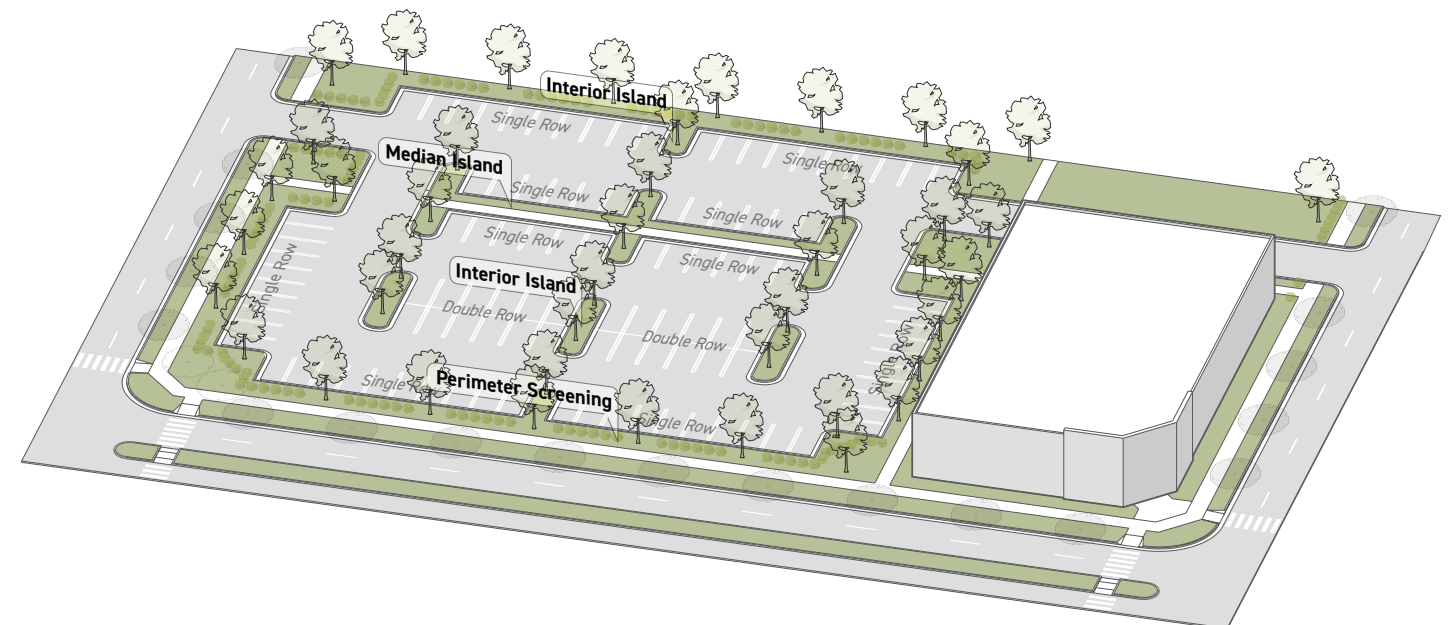
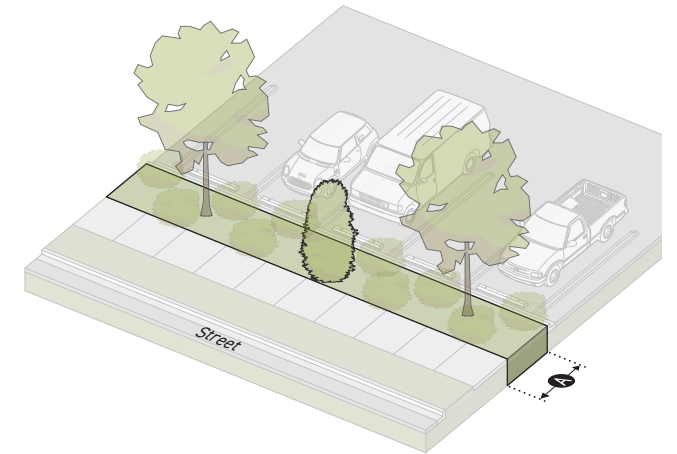
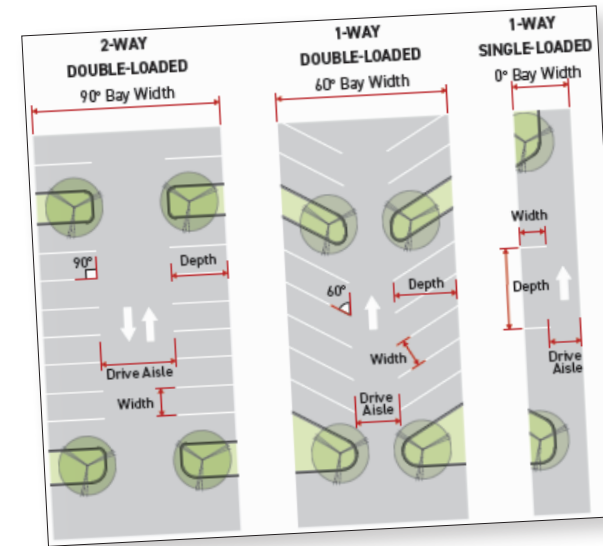


MOBILITY AND ACCESS

PARKING LOT DESIGN

Parking lot design standards seek to...

- Develop **safe, accessible, and visually-appealing parking lots** that enhance parking efficiency and contribute positively to the overall built environment
- Establish **dimensional standards** for various parking configurations, ranging from double-loaded layouts to compact parking spaces
- Regulate **landscape and surface design** in parking lots to **minimize their visual impact** by requiring **perimeter and interior landscaping**
- Richmond currently has **standards for parking lot design**



MOBILITY AND ACCESS

VEHICLE PARKING

Vehicle parking standards seek to...

- Accommodate vehicle parking in a manner that is **cost efficient, sustainable, and compatible with alternative forms of transportation**
- Although Richmond has eliminated minimum parking requirements, there is a possibility of **establishing maximums**
- **Flexibility** could be incorporated to allow **maximum parking to be exceeded** in cases where the impact of parking on the public realm is reduced (e.g. structured or underground parking)

ARTICLE 4. DEVELOPMENT STANDARDS
VEHICLE ACCESS AND PARKING

4.3.2. Vehicle Parking

A. Intent

To reduce parking demand, support the use of alternative forms of transportation, promote reuse and redevelopment of existing buildings, reduce the overall cost of construction and development, and increase the overall efficiency and use of taxable land within the City.

B. Applicability

All allowed uses in Sec. 3.2.

C. Limits on the Provision of Parking

1. Parking Maximums

a. The are no minimum parking requirements.

b. Parking spaces provided beyond the maximum parking shown in table below are allowed but must meet Sec 4.3.2.C.2.

USES	Maximum Vehicle Parking Spaces Allowed	
	Downtown	All Other Districts
Agriculture Uses		
Agriculture	No maximum	No maximum
Residential Uses		
Single-unit/two-unit	No maximum	No maximum
Multi-unit	1 per unit	2 per unit
Manufactured home	No maximum	No maximum
Manufactured home park or subdivision	No maximum	No maximum
Group living	No maximum	No maximum
Public and Civic Uses		
Community service	2 per 1,000 SF of floor area	No maximum
Care centers	2 per 1,000 SF of floor area	No maximum
Educational	2 per 1,000 SF of floor area	No maximum
Government	2 per 1,000 SF of floor area	No maximum
Medical	No maximum	No maximum
Parks and open space	No maximum	No maximum
Passenger terminal	2 per 1,000 SF of floor area	No maximum
Places of worship	2 per 1,000 SF of floor area	No maximum
Social service institutions	2 per 1,000 SF of floor area	No maximum
Utilities	No maximum	No maximum
Commercial Uses		
Indoor recreation	2 per 1,000 SF of floor area	4 per 1,000 SF of floor area
Outdoor recreation	n/a	n/a
Overnight accommodations	1 per room	2 per room

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ARTICLE 4. DEVELOPMENT STANDARDS
VEHICLE ACCESS AND PARKING

	Maximum Vehicle Parking Spaces Allowed	
	Downtown	All Other Districts
g. commercial	No maximum	No maximum
ants	2 per 1,000 SF of floor area	4 per 1,000 SF of floor area
ales and service	2 per 1,000 SF of floor area	4 per 1,000 SF of floor area
vice storage	2 per 1,000 SF of floor area	4 per 1,000 SF of floor area
ales	2 per 1,000 SF of floor area	No maximum
ervice	2 per 1,000 SF of floor area	No maximum
	2 per 1,000 SF of floor area	No maximum
es	2 per 1,000 SF of floor area	4 per 1,000 SF of floor area
ustrial	n/a	No maximum
ial services	2 per 1,000 SF of floor area	No maximum
raction	n/a	No maximum
nd freight	2 per 1,000 SF of floor area	No maximum
ervice	2 per 1,000 SF of floor area	No maximum
e	2 per 1,000 SF of floor area	No maximum

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MOBILITY AND ACCESS

BICYCLE PARKING

Bicycle parking standards seek to...

- Promote **multi-modal transportation** by requiring adequate bicycle parking for various **land use** contexts
- Encourage property owners to provide **sufficient bicycle parking** to meet the **short- and long-term needs** of cyclists
- Provide instructions for creating **safe and accessible bicycle parking facilities**
- Richmond **currently requires bicycle parking** for developments of **10 or more residential units** and for **parking decks and garages**

ARTICLE 4. DEVELOPMENT STANDARDS
PEDESTRIAN AND BICYCLE MOBILITY

4.2.2. Bicycle Parking

A. Intent

To promote bicycling as an alternative to automobile transportation and help ensure safe, secure, accessible, and convenient storage of bicycles for all users.

B. Applicability

1. All allowed uses in Sec. 3.2.

2. Dwelling units with individually accessed private garages are not required to provide long-term bicycle parking.

C. Standards

1. Required Bicycle Parking

Bicycle parking must be provided in accordance with the following table. When bicycle parking is required, a minimum of 2 short-term spaces and a minimum of 2 long-term spaces must be provided, regardless of size.

USES	Spaces Required (min)	
	Short-Term	Long-Term
Agriculture Uses		
Agriculture	None	None
Residential Uses		
Single-unit/two-unit		
Multi-unit	1 per 10 units	1 per 2 units
1st 50 units	1 per 15 units	1 per 4 units
51st + units	None	None
Manufactured home		1 per 2 units
Manufactured home park or subdivision	1 per 10 units	1 per 3 bedrooms
Group living	1 per 6 bedrooms	
Public and Civic Uses		
Community service	1 per 5,000 SF of floor area	1 per 10,000 SF of floor area
Care centers	1 per 5,000 SF of floor area	1 per 10,000 SF of floor area
Educational	4 per classroom	10 per classroom
Government	1 per 5,000 SF of floor area	1 per 5,000 SF of floor area
Medical	1 per 5,000 SF of floor area	1 per 5,000 SF of floor area
Parks and open space	4 per park	None
Passenger terminal	1 per 10,000 SF of floor area	1 per 20,000 SF of floor area
Except bus/rail platform or station	8 per station	4 per station
Places of worship	1 per 5,000 SF of floor area	1 per 10,000 SF of floor area
All social service institutions	1 per 5,000 SF of floor area	1 per 10,000 SF of floor area
All utilities	None	None

ARTICLE 4. DEVELOPMENT STANDARDS
PEDESTRIAN AND BICYCLE MOBILITY

USES	Spaces Required (min)	
	Short-Term	Long-Term
Commercial Uses		
Recreation	1 per 2,500 SF of floor area	1 per 10,000 SF of floor area
Or recreation	?	?
Transient accommodations	1 per 4 rooms	1 per 8 rooms
Commercial	None	None
Restaurants	1 per 2,500 SF of floor area	1 per 10,000 SF of floor area
Food and service	1 per 2,500 SF of floor area	1 per 10,000 SF of floor area
Storage	1 per 10,000 SF of floor area	1 per 10,000 SF of floor area
Offices	1 per 10,000 SF of floor area	1 per 10,000 SF of floor area
Service	1 per 10,000 SF of floor area	1 per 10,000 SF of floor area
	1 per 10,000 SF of floor area	1 per 10,000 SF of floor area
	1 per 10,000 SF of floor area	1 per 5,000 SF of floor area
Professional services	None	None
Construction	1 per 10,000 SF of floor area	1 per 10,000 SF of floor area
Freight movement	None	None
Service	1 per 10,000 SF of floor area	1 per 10,000 SF of floor area
	None	None
	1 per 10,000 SF of floor area	1 per 10,000 SF of floor area

4-8

UNIFIED DEVELOPMENT ORDINANCE | DURHAM, NC

DRAFT | MARCH 21, 2025

MOBILITY AND ACCESS

DISCUSSION

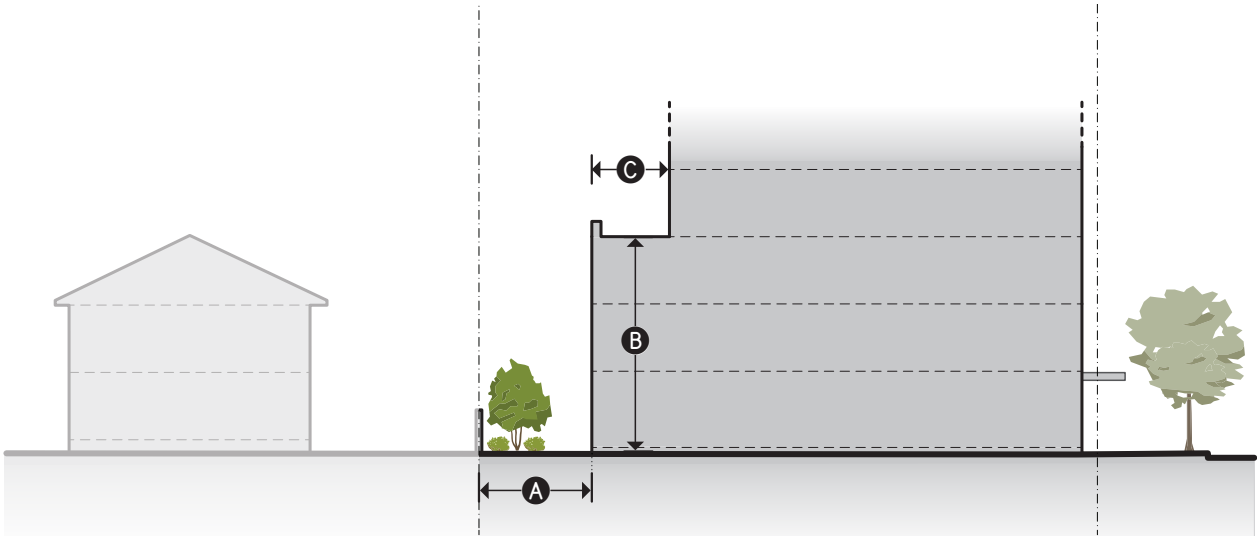
- + *What are **your priorities** with respect to **Mobility and Access Development Standards**?*
- + *Have you noticed **problems with pedestrian and vehicle access or parking lot design** within the city that need to be rectified? Are there **particular examples** that stand out?*
- + *Richmond has already done away with minimum parking requirements. Should it establish **maximum parking requirements**?*

TRANSITION AND SCREENING

TRANSITION STANDARDS

Transition standards seek to...

- Encourage a **wide range of new development**, varying in mass and scale, while helping to **ensure compatibility** with surrounding neighborhoods
- Leverage tools such as **building setbacks, upper-story stepbacks, and landscaping** to help improve land use transitions
- Offer property owners multiple options based on the **development intensity** and **zoning classification**
- Richmond currently uses **incline planes** to transition building heights between **specific districts or categories of districts**, although these can be more complex to visualize than setback or stepping requirements



TRANSITION AREA		UPPER STORY STEP-BACK	
A Depth (min)	15'	B Height before step-back (max stories/feet)	3/40'
Transition screen type	Moderate	C Upper story step-back (min)	10'

TRANSITION AND SCREENING

TRANSITION STANDARDS



❌ **No alley** with no setback



✅ **No alley** with a setback and a step back

TRANSITION AND SCREENING

TRANSITION STANDARDS



❌ **Alley** with no setback



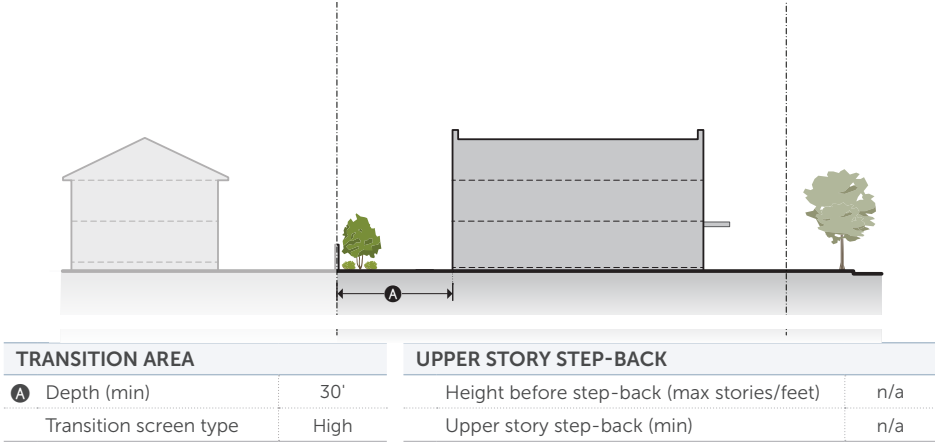
✅ **Alley** with a setback and a step back

TRANSITION AND SCREENING

TRANSITION STANDARDS

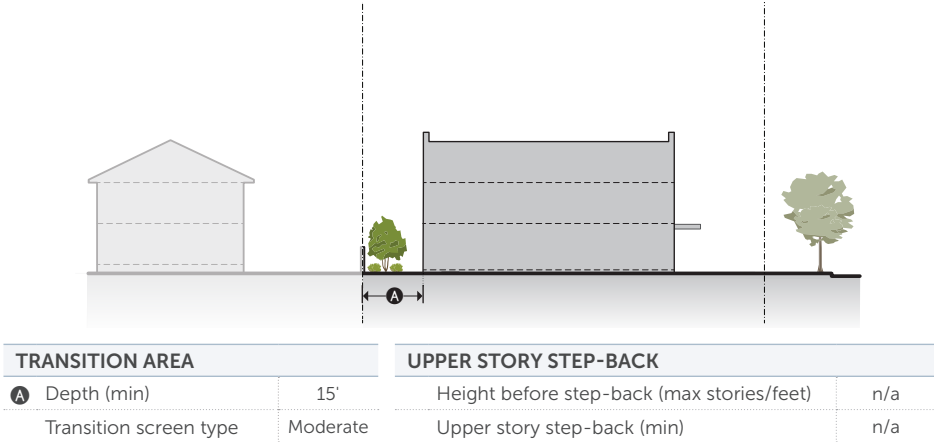
EXAMPLE: DURHAM NC CODE

TYPE A



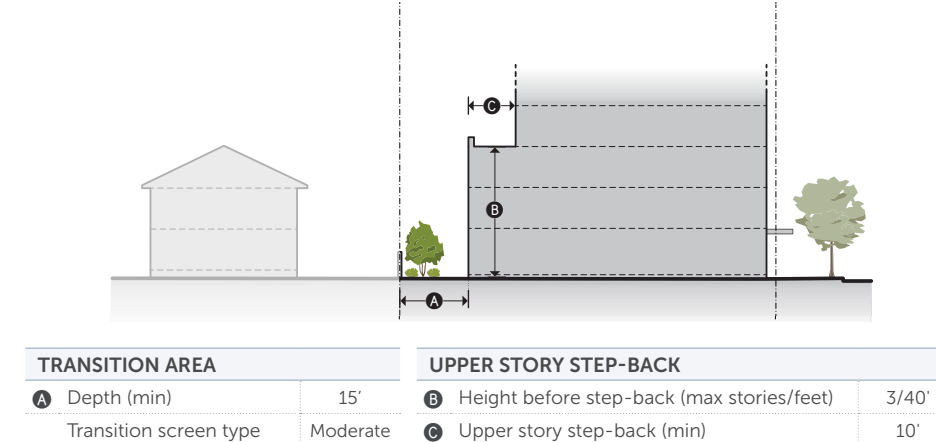
Industrial districts next to most other districts

TYPE B



Commercial districts next to lower-intensity residential or mixed-use districts

TYPE C



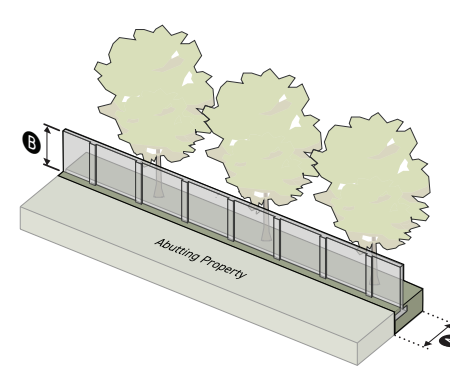
Multi-story mixed-use or commercial districts next to lower-intensity residential districts

TRANSITION AND SCREENING

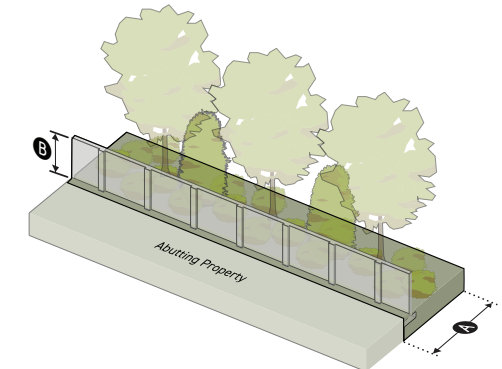
TRANSITION SCREENING

Transition screens standards seek to...

- Foster a more **harmonious and visually appealing built environment** by reducing the impact of specific uses, activities, and site elements on abutting lots
- Provide a range of transition screen types with **varying depths, landscaping, and screening requirements, scaled from low to high** based on the relationship between the subject and abutting properties
- Richmond currently regulates **transition screening** by **zoning district**

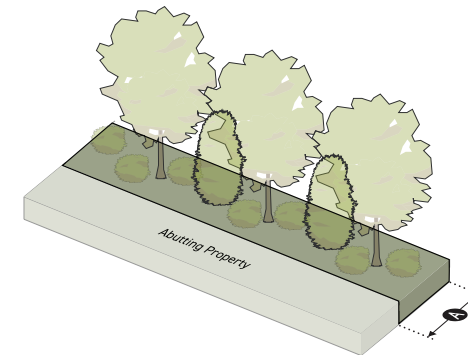


Narrow depth with wall

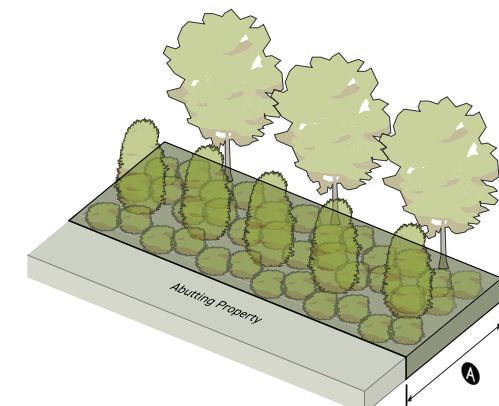


Moderate depth with wall

Lowest-Intensity  Highest-Intensity



Medium depth, no wall, additional landscaping



Deep depth, no wall, extensive landscaping

TRANSITION AND SCREENING

FRONTAGE SCREENING

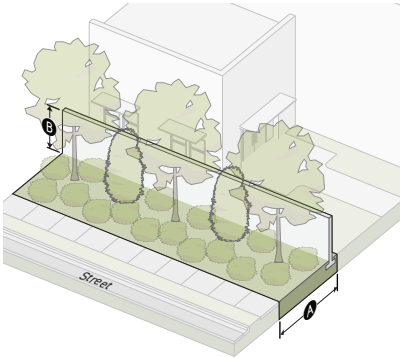
Frontage screening standards serve a similar but separate purpose of...

- Fostering a more **harmonious and visually appealing built environment** by applying **graduated standards that scale in intensity** from low to high.
- However, frontage screens aim to **reduce the impact of certain uses and site elements** on the public realm.

CHAPTER 4. DEVELOPMENT STANDARDS
TRANSITIONS AND SCREENING

HIGH FRONTAGE SCREEN-1

Medium depth landscape screening with a wall intended for high impact uses.




SCREENING AREA	
A Depth (min)	15'
Landscaping (min per 50')	
Canopy trees	3
Understory trees	2
Shrubs	16

WALL	
B Height (min)	8'
Opacity (min)	90%
C Setback from property line (min)	3'

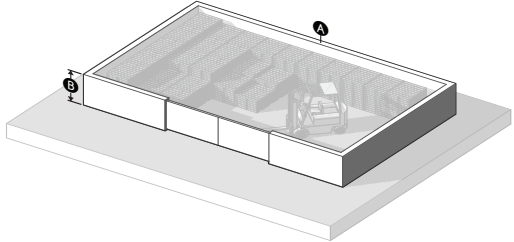
HIGH FRONTAGE SCREEN-2

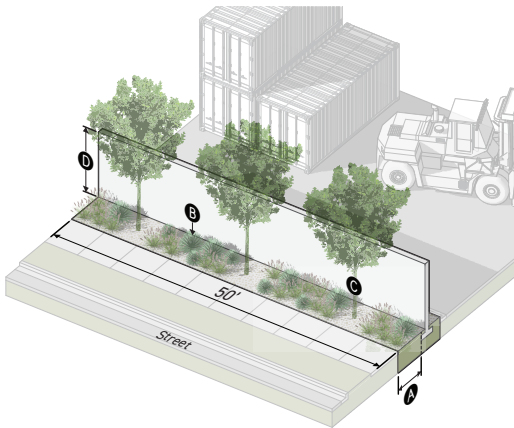
Deep landscape screening with no wall intended for high impact uses.



SCREENING AREA	
A Depth (min)	30'
Landscaping (min per 50')	
Canopy trees	3
Understory trees	5
Shrubs	24

WALL	
Not required	





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DRAFT | DECEMBER 08, 2024

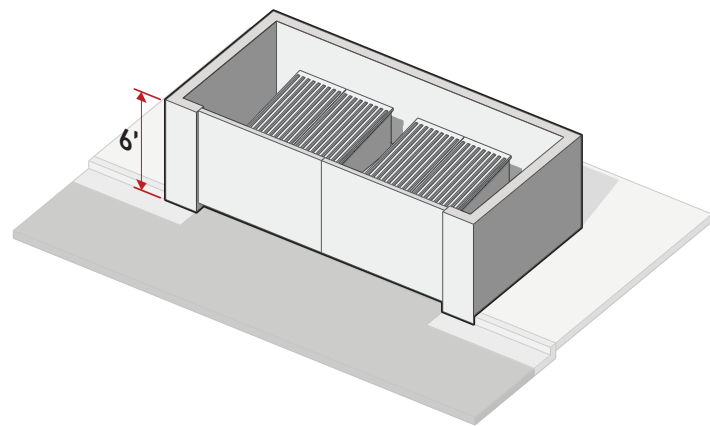
TRANSITION AND SCREENING

SITE ELEMENT SCREENING

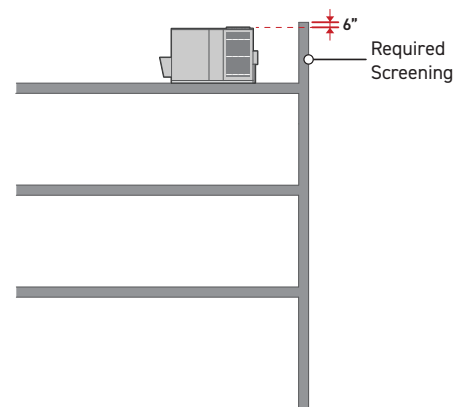
Site element screening standards seek to...

Conceal and **reduce the visibility** of site elements such as **waste, mechanical, electrical, and utility equipment** from the public realm and neighboring properties

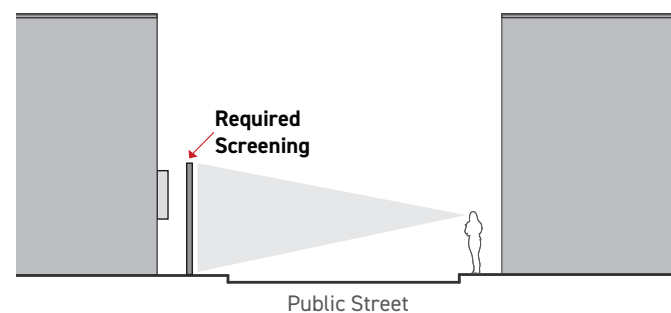
Dumpster and recycling areas



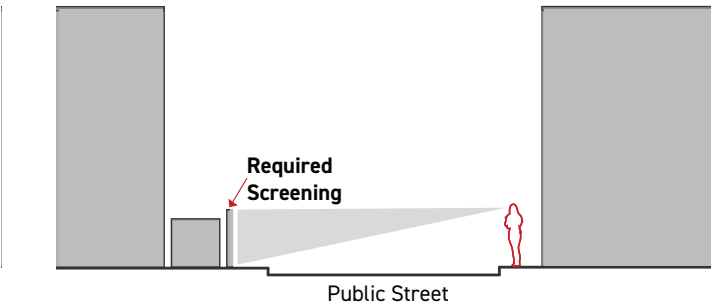
Roof-mounted equipment



Wall-mounted equipment



Ground-mounted equipment

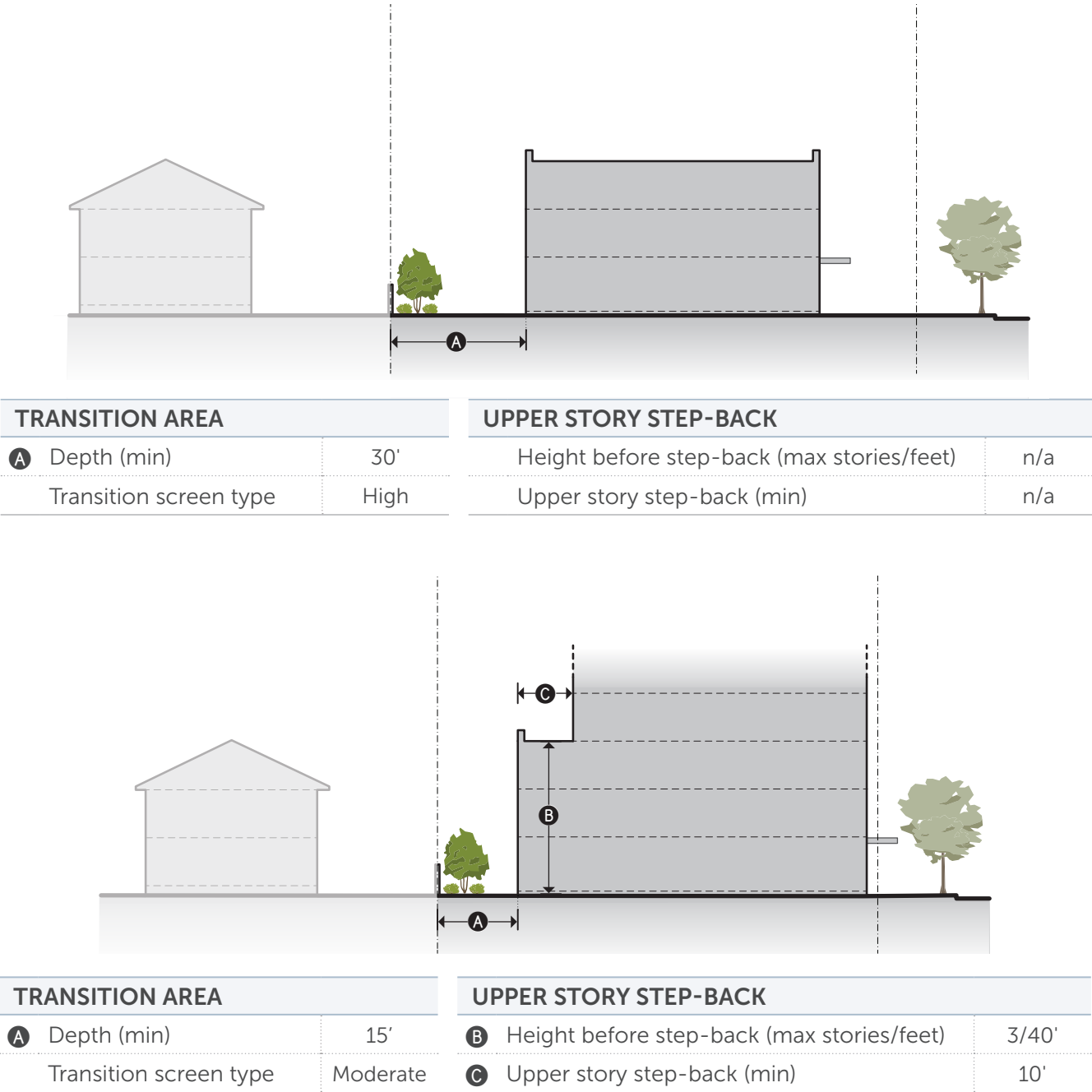


TRANSITION AND SCREENING

DISCUSSION

+ What *elements of transition* would you like to see applied between *different types of zoning districts*? (Not an exhaustive list). What are your biggest *priorities for transition*?

Lower Intensity District	Higher Intensity District
+ RD + RA	+ RX
	+ MX
	+ IX
	+ IL/IH
	+ CG



TRANSITION AND SCREENING

DISCUSSION

- + *What are your **priorities** for screening?*
- + *Are there specific **bad outcomes** that should be **guarded against** in Richmond?*
- + *Walls are **more expensive** than fences. Are there some places where **walls should be required**?*

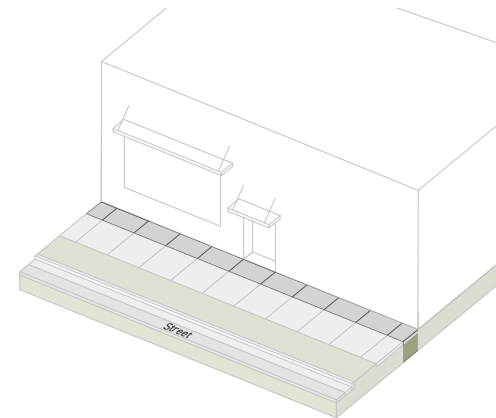
FENCES AND WALLS

FENCES AND WALLS

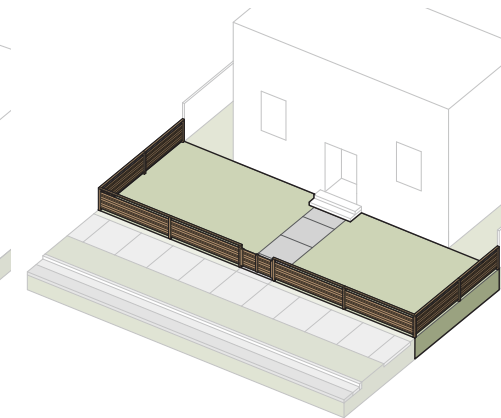
Fences and walls standards seek to...

- Provide property owners with options to **balance visual interest** along the public realm with **security and privacy**
- Regulate the **relationship between buildings and the public realm** based on **contextual factors** such as yards and zoning
- Establish **design and installation standards** for various fence and wall types
- Richmond currently regulates **fence or wall height** by **zoning district**

Streets

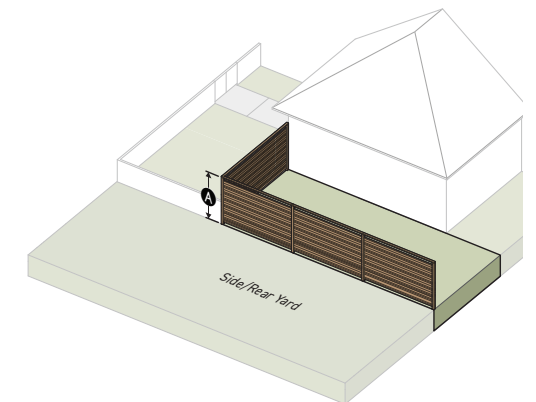


Accessible, retail settings

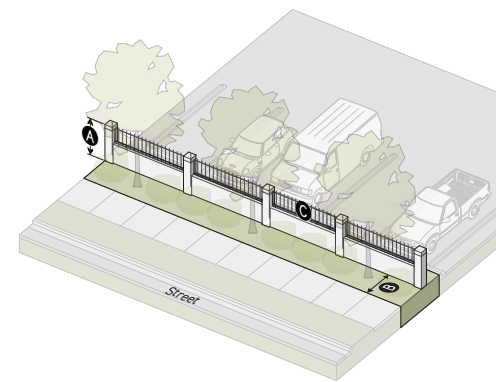


Enclosed, residential settings

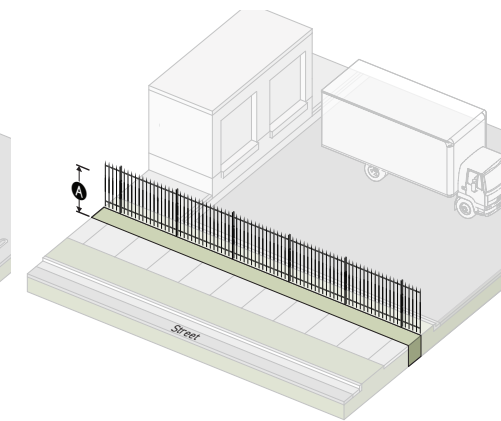
Common Lot Lines



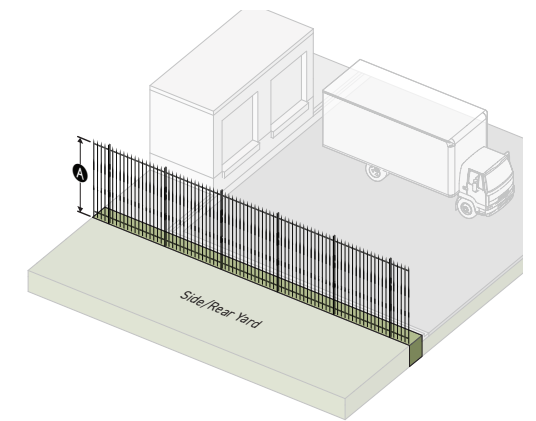
Private, residential settings



Safe, commercial settings



Secure, industrial settings



Secure, industrial settings

FENCES AND WALLS

DISCUSSION

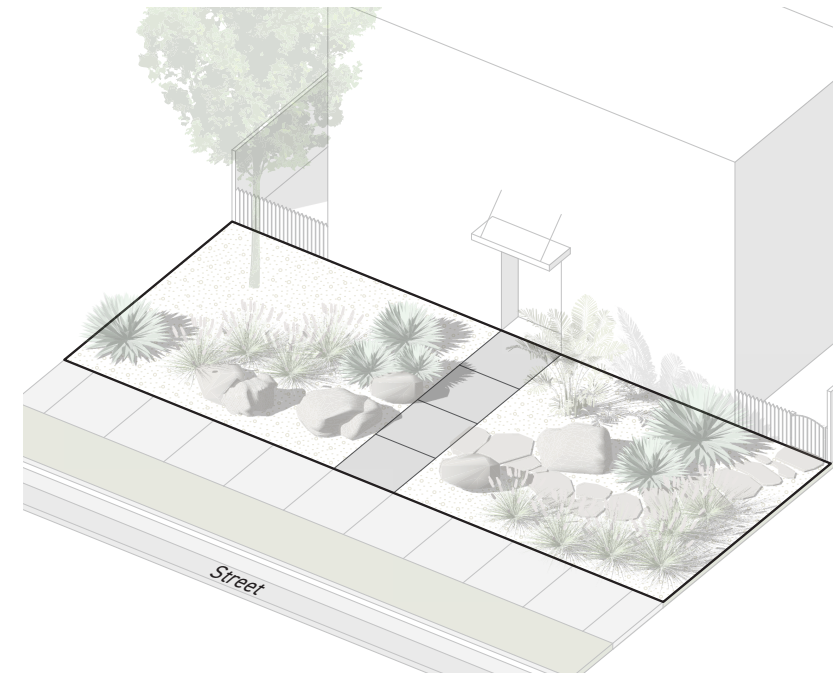
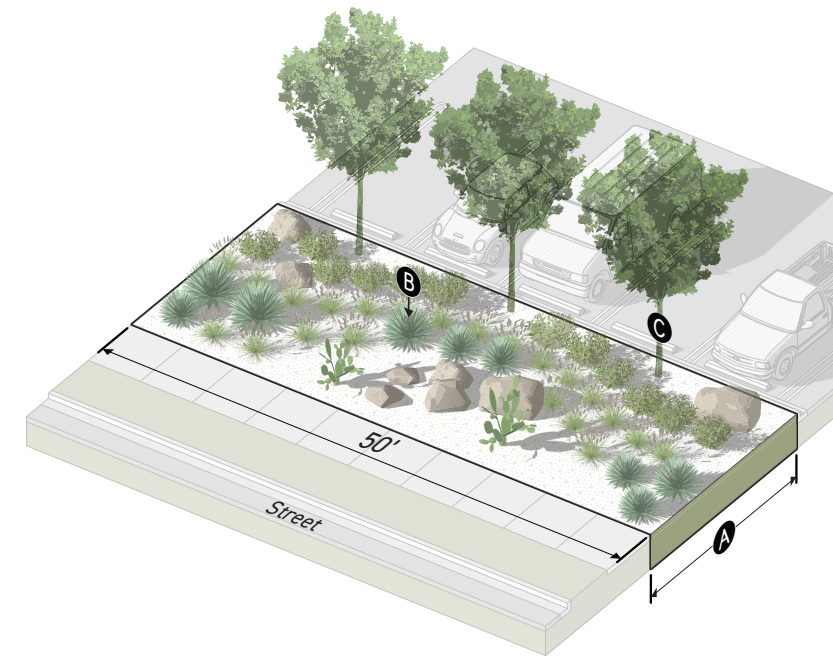
- + *What are your **priorities** for fences and walls?*
- + *Are there specific **bad outcomes** that should be **guarded against** in Richmond?*

LANDSCAPE AND LIGHTING

LANDSCAPE STANDARDS

Landscape standards seek to...

- Strengthen **urban ecology** by integrating trees, shrubs, and other plant materials into the built environment in ways that **elevate visual appeal**, **support biodiversity**, and **ensure long-term sustainable development**
- Establish minimum **tree canopy requirements**, in alignment with a 2025 bill in Virginia that allowed cities to do this
- Richmond currently has **tree canopy and landscaping requirements** for **parking lots** and **buffering areas** only



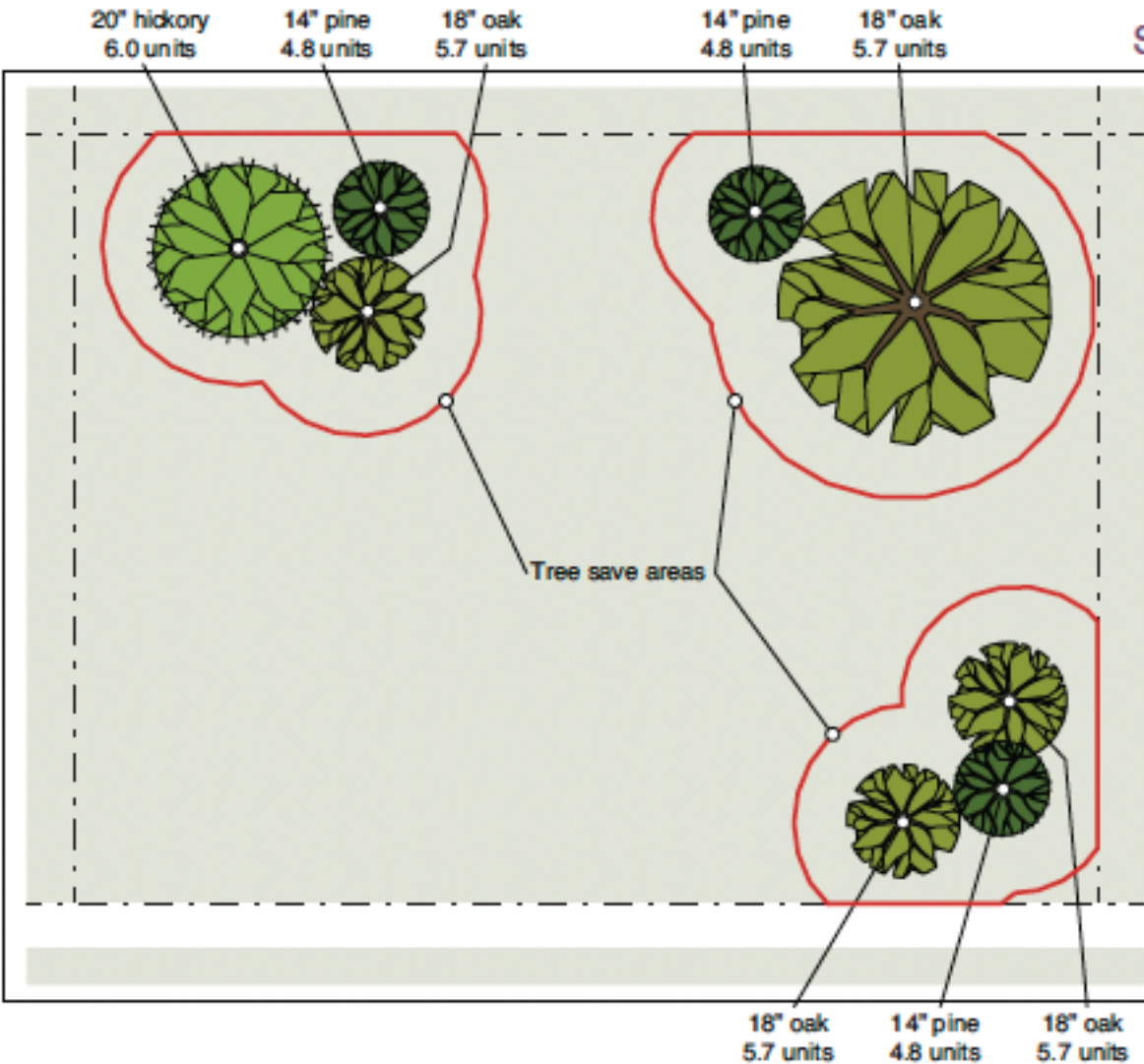
LANDSCAPE AND LIGHTING

LANDSCAPE STANDARDS

TREE CANOPY

EXAMPLE: ROSWELL GA CODE

Site Location	Tree Density Units Required Per Acre
Downtown Historic District	10
GA 400/Holcomb Bridge Node	15
Estate, Suburban Residential	20
All Other Character Areas	30



Sample Tree Unit Density Calculation

Tree Size (DBH)	Number of Trees	Tree Density Units	TOTAL Units
14"	3	4.8	14.4
18"	3	5.7	17.1
20"	1	6	6
30"	1	8.4	8.4
TOTAL			45.9

Existing Tree Size (DBH)	Tree Density Units
3"	1.0
4"	1.5
5"	2.0
6"	2.4
8"	3.0
10"	3.6
12"	4.2
14"	4.8
16"	5.3
18"	5.7
20"	6.0
22"	6.3
24"	6.6
26"	6.9
28"	7.2
30"	7.5
32"	7.8
34"	8.1
36"	8.4
38"	8.7
40"	9.0
42"	9.3
44"	9.6
46"	9.9
48"	10.2
50" or more	10.5

LANDSCAPE AND LIGHTING

STREETSCAPE STANDARDS

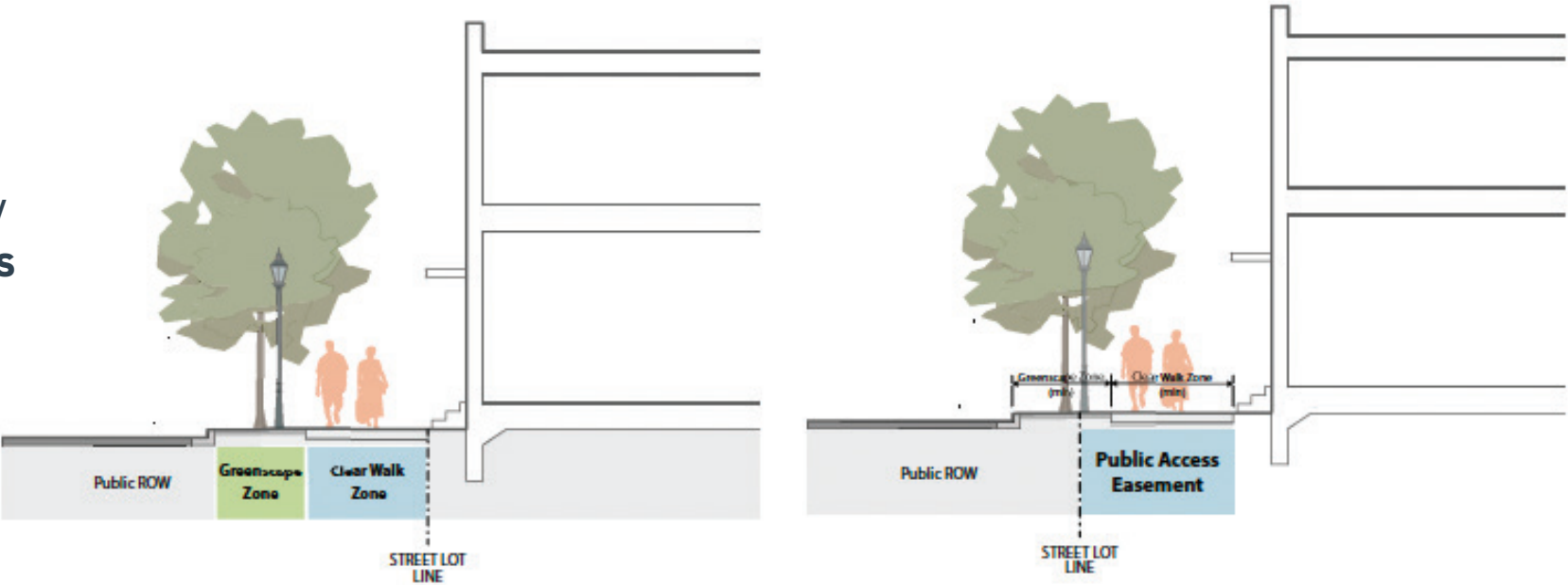
Streetscape standards seek to...

- Establish minimum **requirements for sidewalks and landscaped parts of the public realm** adjacent to a new development, to be constructed by developers or the City through cash-in-lieu contributions
- Because zoning typically deals with private property only, Richmond **may or may not be able to impose requirements on private developers to improve the public realm**. The City's legal team is currently looking into whether there is any **possibility of introducing such standards here**
- Richmond **does not currently require** public streetscape upgrades as part of the zoning ordinance, although the city does offer **bonusing incentives** to encourage **improvements to the public realm**

STREETSCAPE IMPROVEMENTS

EXAMPLE: CHARLOTTESVILLE

Street Classification	Width (min)	
	Clear Walk Zone	Greenscape Zone
Mixed Use Corridor	8'	12'
Mixed Use A	7'	8'
Mixed Use B	7'	6'
Downtown	6'	8'
Industrial	6'	6'
Neighborhood A	6'	5'
Neighborhood B	6'	5'
Local	6'	5'



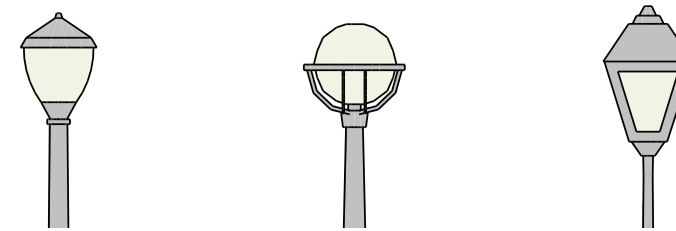
LANDSCAPE AND LIGHTING

LIGHTING STANDARDS

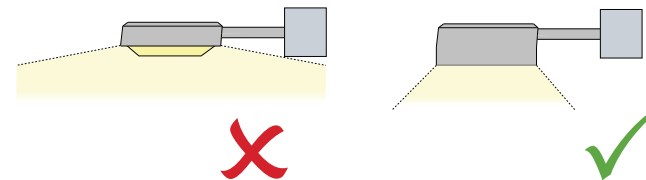
Lighting standards seek to...

- Promote a **safe, secure, and accessible environment** by regulating exterior lighting in **nonresidential and multifamily developments**
- Prohibit specific light sources and manage lighting levels to **enhance visibility and security** at night, while **minimizing light pollution**
- Recommend many **light fixture options** - such as parking and pedestrian lighting, flood lamps, and canopy lighting - in different contexts, accommodating a range of **aesthetic and functional goals**
- Currently, Richmond only has **very general standards** for lighting on private property

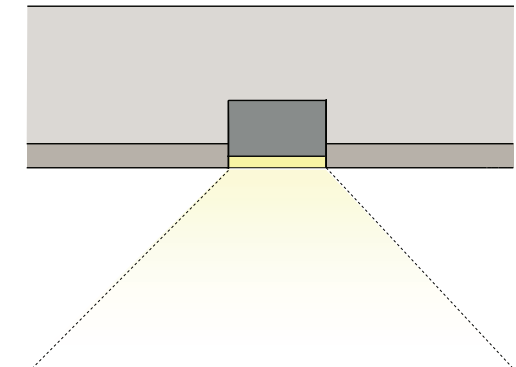
Pedestrian-scaled lighting



Full-cut off fixtures



Recessed canopy lighting



LANDSCAPE AND LIGHTING

DISCUSSION

- + *What are your **priorities for landscape standards**?*
- + *What are your **biggest concerns with current conditions** in Richmond? What needs to be improved?*
- + *How important is **improving the public realm** around new developments to you? In **what parts of the city** is this most important?*

SIGNS

SIGN STANDARDS

Sign standards seek to...

- Promote the **effective use of signs for communication** to attract business, improve pedestrian and traffic safety, and reduce visual clutter in the public realm
- Establish general standards for the **design, installation, and maintenance of signs**, including restrictions and prohibitions on certain signs that may impact adjacent properties, motorists, or pedestrians
- Establish **design and dimensional standards** for **specific sign types** based on zoning districts, building type, and other relevant factors
- Richmond current establishes **what types of signs are allowed within each zoning district**, as well as some general provisions



SIGNS

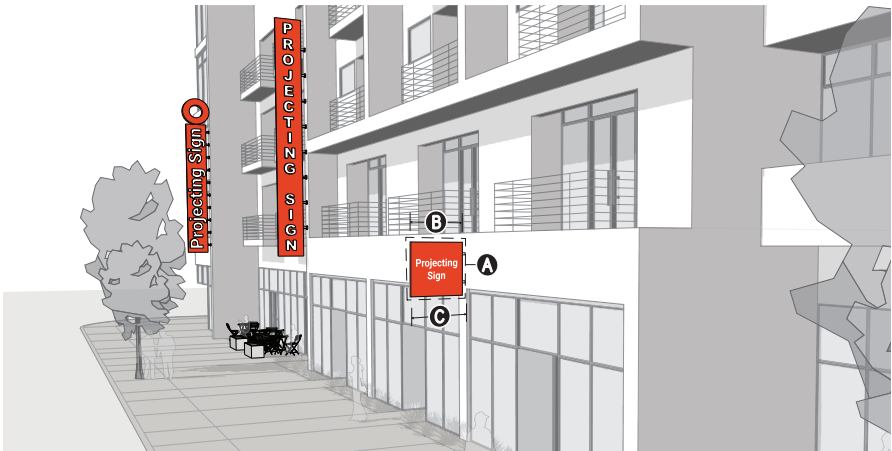
SIGN STANDARDS

BUILDING SIGNS

EXAMPLE: DURHAM NC CODE

ARTICLE 4. DEVELOPMENT STANDARDS
SIGNS

E. Projecting Sign



1. Definition	A building sign extending at a 90-degree angle from the exterior wall of a building or structure.	
2. General Standards	Must be at least 15 feet from any other projecting sign or suspended. Cannot extend above the top of the building roof line or parapet. Can be externally and internally illuminated - see XX .	
3. Number of Signs	Maximum of 1 sign per lot or 30' of building frontage, whichever is greater.	
4. Total Sign Area	Combined area of all building signs (max)	1.5 SF per linear foot of building frontage or 32 SF, whichever is greater
5. Individual Sign Dimensions		
A Area (max)	60 SF	
B Height (max)	12'	
C Depth (min/max)	1'/6'	

ARTICLE 4. DEVELOPMENT STANDARDS
SIGNS

F. Wall Sign



1. Definition	A building sign attached flat to the exterior wall of a building or structure, located on the lower portion of a building or structure. For purposes of this section only, a "wall" includes any permanent architectural extension of a wall, including parapets, unless that extension serves solely as the framing for a sign support structure or sign face, even if such extension projects beyond or above the enclosed portions of the building.	
2. General Standards	Must be located below the window sills of the 2nd story on a multi-story building or below the roof line on a single-story building. Cannot extend above the top of the building roof line or parapet. The sign can not extend beyond the edges of the wall to which it is attached, except when the sign is contiguous on two adjacent walls of the same building, the connecting portion may extend to but not beyond the face of the adjoining portion. Can be externally and internally illuminated - see XX .	
3. Number of Signs	Nonresidential District: maximum of 1 sign per lot or 30' of building frontage, whichever is greater. Residential District: maximum of 1 sign per building.	
4. Total Sign Area	Combined area of all building signs (max)	1.5 SF per linear foot of building frontage or 32 SF, whichever is greater
5. Individual Sign Dimensions		
A Area (max)		
Nonresidential District	60 SF	
Residential District	30 SF	
B Depth (max)	1'	

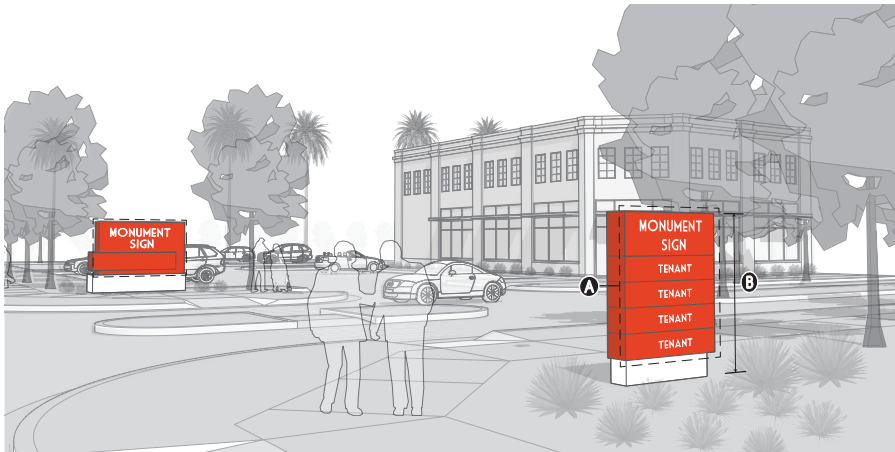
SIGN STANDARDS

FREESTANDING SIGNS

EXAMPLE: DURHAM NC CODE

ARTICLE 4. DEVELOPMENT STANDARDS
SIGNS

I. Monument Sign

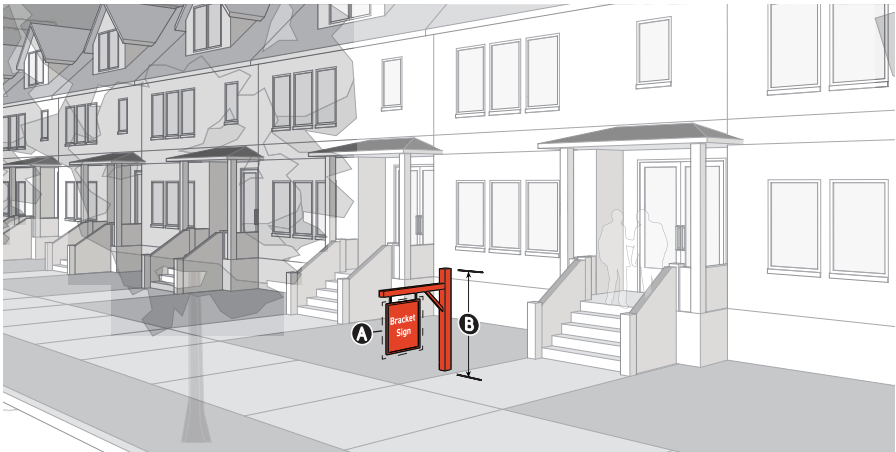


1. Definition
A freestanding sign attached to the ground along its entire length.
2. General Standards
Must be located at least 30 feet from any other freestanding sign
Must be set back at least 10 feet from any lot line.
A defined landscaped area must be provided at the base of the sign - see XX.
Can be externally and internally illuminated - see XX.
3. Number of Signs
Maximum of 1 sign per street frontage.
Additional signs allowed when street frontage exceeds 300 feet with an approved common signage plan. There must be a minimum of 150 feet between signs.

4. Total Sign Area	--	--
5. Individual Sign Dimensions		
A Area (max)		
Nonresidential District		
Street frontage <150 feet	32 SF	
Street frontage 150 feet or more	80 SF	
Residential District		
Street frontage <150 feet	12 SF	
Street frontage 150 feet or more	32 SF	
B Height (max)	6'	

ARTICLE 4. DEVELOPMENT STANDARDS
SIGNS

G. Bracket Sign



1. Definition
A freestanding sign comprised of a vertical pole, a horizontal decorative sign support, and a suspended sign face.
2. General Standards
Must be located at least 30 feet from any other freestanding sign
Can only be externally illuminated - see XX.
3. Number of Signs
Maximum of 1 sign per lot or 30' of street frontage, whichever is greater.

4. Total Sign Area	--	--
5. Individual Sign Dimensions		
A Area (max)	9 SF	
B Height (max)	6'	

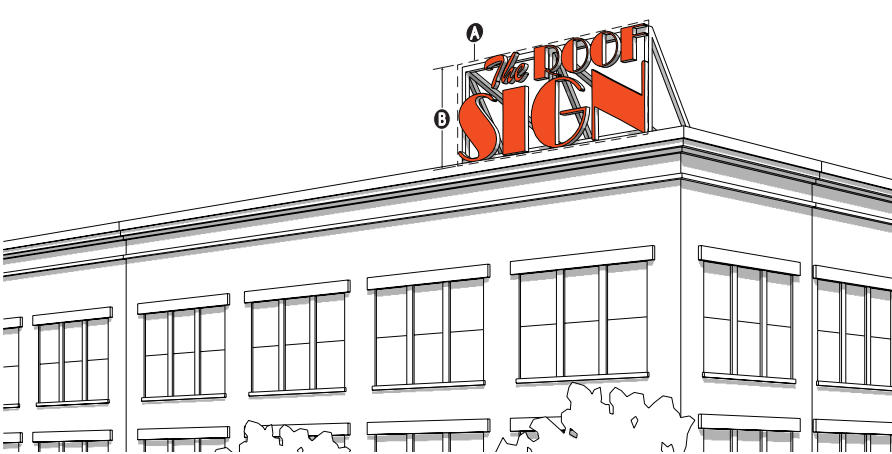
SIGN STANDARDS

SPECIAL SIGNS

EXAMPLE: DURHAM NC CODE

ARTICLE 4. DEVELOPMENT STANDARDS
SIGNS

M. Roof Sign



1. Definition	A special sign erected on a roof of a building consisting of channel letters, graphic segments, open lighting elements, or other open forms affixed to a non-solid panel sign support structure.	
2. General Standards	Can have roof signs or crown signs - can't mix them on a building. Only allowed on buildings at least 4 stories in height. Must be located on the roof of a building. Can be externally and internally illuminated - see XX	
3. Number of Signs	Maximum of 2 signs allowed per building, with a maximum of 1 sign per building facade.	
4. Total Sign Area	--	--
5. Individual Sign Dimensions		
A Area (max)		200 SF
B Height (max)		10'

ARTICLE 4. DEVELOPMENT STANDARDS
SIGNS

L. Suspended Sign



1. Definition	A special sign attached to the building facade at a 90-degree angle that hangs from a bracket or support	
2. General Standards	The hanging bracket must be an integral part of the sign design. Must be located below the window sills of the 2nd story on a multi-story building or below the roof line on a single-story building. Must be located at least 15 feet from any other suspended sign or projecting sign. Can only be externally illuminated - see XX	
3. Number of Signs	Maximum of 1 sign per establishment.	
4. Total Sign Area	--	--
5. Individual Sign Dimensions		
A Area (max)		6 SF
B Height (max)		3'
C Depth (min/max)		1'/3'

SIGNS

DISCUSSION

- + *What are your **priorities for signs**?*
- + *Do you have any specific concerns about **existing commercial signs** in Richmond? How should the code **limit signs**?*
- + *How do you feel about **freestanding signs**? Should new freestanding signs be permitted **in any part of the city**? If so, what should the **height limit** be? Freestanding signs are currently allowed within **certain zoning districts**, and subject to **certain size limits**.*

AFFORDABILITY

AFFORDABILITY STANDARDS

Affordability standards seek to...

- Incentivize **affordable housing** in exchange for “**bonus**” **height, density** or other permissions
- At present, the State of Virginia only allows Richmond a narrow opportunity to bonus a specific **increase in density** for a specific **increase in affordable units**, which is not dynamic to the needs of the market. In addition, the new code (in its current draft) is proposing to **do away with regulating density**, focusing instead on height and other metrics
- Richmond currently uses **density bonusing** (as well as height in one case), but has seen **little uptake**
- The City’s legal team is currently looking into whether there is any **flexibility in these permissions to bonus height** or at rates **different than established by the state**

DEVELOPMENT BONUSES

4.2.2. Affordable Dwelling Units

A. Intent

1. To promote the creation and preservation of affordable housing suitable for meeting the current and future needs of the locality in accordance with the *Code of Virginia § 15.2-2304* and other relevant sections of the Code of Virginia.
2. To ensure that any project choosing to include 10 or more residential units will implement the affordable housing goals of the adopted Comprehensive Plan, and Charlottesville Affordable Housing Plan.
3. To provide an incentive for the development of residential projects of any size that implement the affordable housing goals of the adopted Comprehensive Plan and Charlottesville Affordable Housing Plan.

B. Applicability

1. Affordable Dwelling Unit Requirement

- a. Any project exercising the option to build 10 or more residential dwelling units must provide affordable dwelling units that meet the standards of this Section, except projects that meet one of the following exemptions.
- b. The following projects are exempt from providing required affordable dwelling units:
 - i. Projects with 9 or fewer residential dwelling units; and
 - ii. Projects in zoning districts Residential A (R-A), Residential Core Neighborhood A (RN-A), Residential B (R-B), or Residential C (R-C).

2. Affordable Dwelling Unit Bonus

The affordable dwelling unit bonus applies to any project where a developer chooses to meet the standards of this Section in order to receive a bonus to the maximum allowed dwelling units per lot and the maximum allowed building height.

C. Standards

1. General Standards

All affordable dwelling units must meet the following requirements and the standards of the Affordable Dwelling Unit Monitoring and Procedures Manual (“ADU Manual”), as adopted by Council:

a. Determining the Affordable Rent or For Sale Unit Cost

- i. Rental units are to be priced to be affordable to a household having a gross annual income at the required household income limit expressed in terms of the percent of AMI. Monthly housing costs, inclusive of rent, utilities, one parking space (where provided), and any other amenity cost, must not exceed 30% of the applicable household income limit. If utilities are separately metered, the maximum allowable rent will be reduced to reflect the

AFFORDABILITY

DISCUSSION

- + *What are your thoughts about **affordability standards**? If **determined to be allowed** in Richmond, would you like to see them? Should they be applied in **particular zoning districts** or **parts of the city**?*