DEPARTMENT OF
PLANNING AND DEVELOPMENT REVIEW

Richmond 300: Code Refresh

High-Quality Places Working Group Meeting #2

June 12, 2025

Agenda Review

5:00 PM	Welcome & Orientation
5:10 PM	Ice Breaker Activity
5:20 PM	Recap and Report Back
5:40 PM	Small Group Discussion
7:00 PM	Small Group Report Back
7:30 PM	Adjournment

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Welcome and Orientation

Room Orientation

- Staff and Zoning Advisory Council

- Restrooms and Exits

- Refreshments

- Parking Board

Working Group Purpose

- Advise the Zoning Advisory Council and PDR staff

- Review the materials related to the Code Refresh process, through the lens through the lens of one of five topic areas from Richmond 300

- Determine what may be missing or inconsistent with the policies related to each topic area in the Code Refresh

- Provide subject matter expertise

High-Quality Places Topic Vision

Richmond is a well-designed city of communities interconnected by a network of Nodes, public facilities, and open spaces providing services to residents, businesses, and visitors.

As the Capital of the Commonwealth, Richmond leads the region in high-quality business and residential growth. Richmond's unique neighborhoods and districts, both historical and new, support a diversity of uses, the equitable accommodation of all phases of life, and the efficient use of land to promote sustainable and healthy lifestyles.

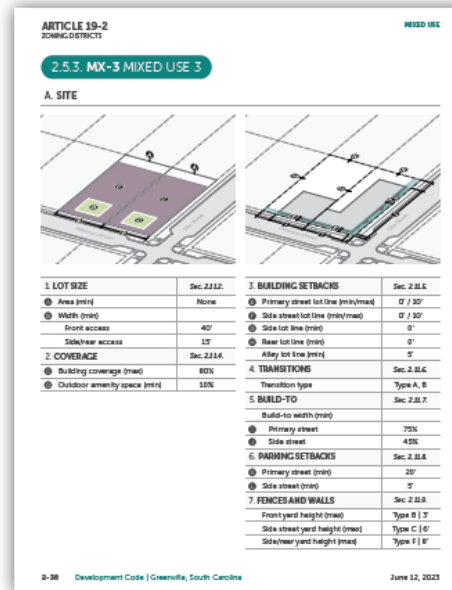DEPARTMENT OF
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What is the process?

+ Draft code will be delivered in three separate parts or "modules" in 2025.

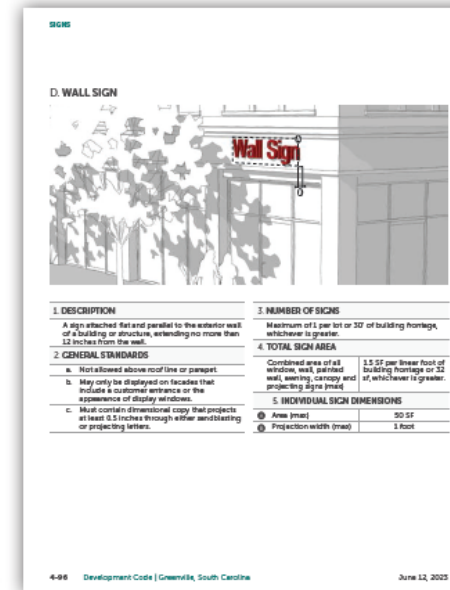+ Each module delivery will provide opportunity for detailed review and discussion by ZAC.

+ Three modules will then be revised and assembled as a complete draft.
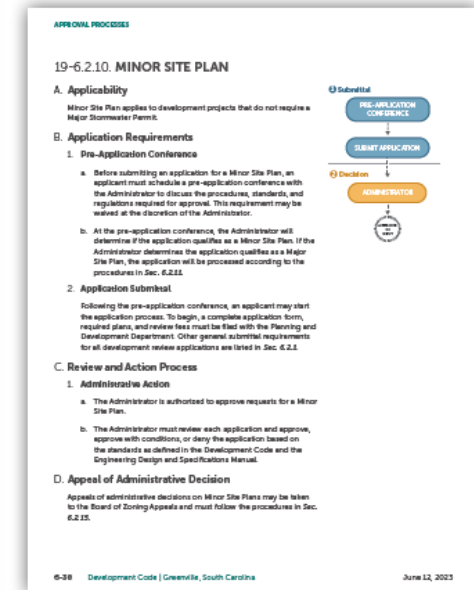
MODULE 1:
DISTRICTS, USES & MAPS

Full zoning districts, use matrix and zoning maps

MODULE 2:
DEVELOPMENT STANDARDS

Landscaping, transitions, signs, vehicle access, and other city-wide standards

MODULE 3:
ADMINISTRATION & OTHER PROVISIONS

Processes for review of applications, and how to allow amendments or relief

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Working Group Ground Rules

- Engage in open dialogue

- Participate as individuals and share when representing your organization.

- Refrain from speaking on behalf of the Council

- Attend meetings and read materials

- Everyone participate in the conversation and share your advice

- Try to be succinct to allow others time to speak

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Meeting Objectives

- Hear what other groups discussed at the last High Quality Places meeting and other working groups

- Continue the discussion regarding Module 1 content

- Learn about community engagement opportunities

Icebreaker

Working Group Report Back

Inclusive Housing Working Group

1. **Definition of Family:** The existing zoning ordinance defines family in § 30-1220.33 of City Code which limits the number of unrelated persons living in a single-family dwelling. The draft ordinance does not define family and relies on the building code for occupancy limitations of dwelling units. Should the zoning ordinance regulate dwelling unit occupancy? If so, should the limits be changed from the existing?

2. **Residential Cottage District:** The R-C Residential Cottage zoning district is proposed to replace the existing R-MH Mobile Home District but could be used for other forms of small home development. What are your thoughts on the district standards and the potential for this district?

3. **Special Needs Housing:** The draft use regulations propose to permit Special Needs Housing in more districts than the existing zoning ordinance allows. What are your thoughts on this change? Should there be different use standards in different districts such as capacity limits and buffering?

4. **Group Living:** The draft zoning ordinance defines new group living uses including co-housing and senior care. Are these defined uses needed and are they proposed to be permitted in the appropriate districts?

Thriving Environment Working Group

1. **District Rules of Interpretation:** Discussion of the district standards and rules of interpretation and whether they support the goals and objectives of the Thriving Environment Chapter of Richmond 300. Specifically, discuss the following:

   a. Building Coverage Standards

   b. Amenity Space Requirements

   c. Building Height

2. **Uses:** Discussion of uses and the draft use standards and whether they support the goals and objectives of the Thriving Environment Chapter of Richmond 300. Specifically, discuss the following uses from the use matrix:

   a. Agriculture

   b. Utility Service

   c. Data Center

   d. Waste-related

   e. Are there uses missing?

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Equitable Transporation Working Group

1. **Zoning Assumptions:** As the proposed zoning is mapped throughout the City, how should the transportation network impact the proposed zoning? Specially, how should the following impact the proposed zoning?

    a. Major Streets from Richmond 300

    b. Great Streets from Richmond 300

    c. Greenways/Shared-Use Paths

    d. On-street Bike Facilities

    e. Transit Network

    f. High-Injury Network

    g. Roadway Width

2. **Vehicle Oriented Uses:** Where should vehicle-oriented uses including vehicle service fueling/services be located? Should there be use standards related to size, number of pumps, mix of uses, separation of similar uses, or other requirements?

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Diverse Economy Working Group

1. **Use Thresholds:** In the Draft Use Provisions, Commercial, Manufacturing, and Industrial uses are permitted in certain districts based on their size. Do these proposed square footage breaks make sense?

2. **Market Demand:** Are there uses that the zoning ordinance is prohibiting or limiting that the market wants to be here? Are there businesses and industries that the zoning ordinance should encourage? Have you experienced an issue with the existing zoning ordinance while working with a business, industry, or entrepreneur that should be addressed in the new zoning ordinance?

3. **CG-4 Zoning District:** The Commercial General Zoning District (CG-4) was added to accommodate more auto-oriented commercial corridors in the short to medium term. The zoning district allows for a big box, auto-oriented building form and permits more auto-oriented uses. But exactly where should it be applied? Are we making too many existing properties non-conforming if we limit where this district is applied? Are there uses permitted in the CG that should be permitted in other districts?

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Small Group Discussion

1. Residential Cottage District

The R-C Residential Cottage zoning district is proposed to replace the existing R-MH Mobile Home District but could be used for other forms of small home development.

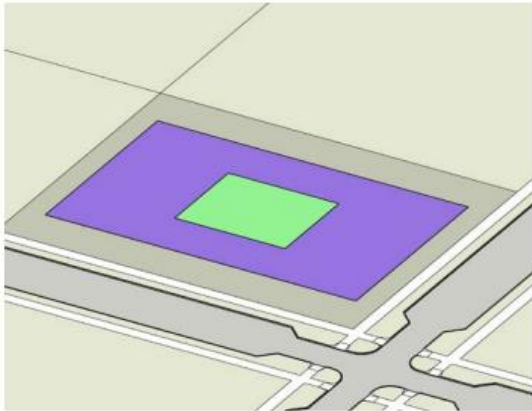What are your thoughts on the district standards and the potential for this district?

RC
Residential Cottage

Clusters of small detached houses that could include manufactured and tiny home parks, & cottage courts
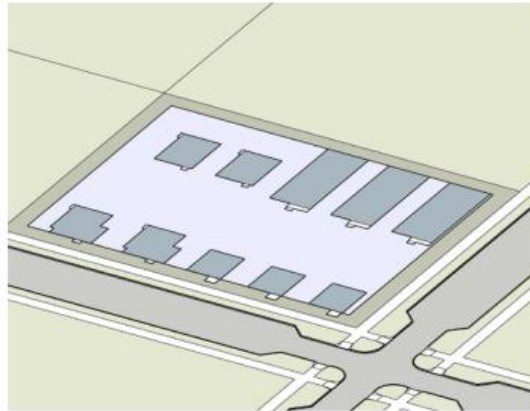
1. Residential Cottage District

2.2.2. R-C RESIDENTIAL COTTAGE

R-C

A. Lot Standards

1. Lot Size	
Ⓐ Lot area (min)	20,000 SF
Ⓑ Lot width (min)	100'
2. Dwelling Units	
Dwelling units per building (max)	1
3. Coverage	
Ⓒ Building coverage (max)	60%
Ⓓ Amenity space (min)	10%

4. Building Setbacks	
Ⓔ Primary street (min)	10'
Ⓕ Side street (min)	10'
Ⓖ Side (min)	10'
Ⓗ Rear (min)	10'
Alley	3' or 20' min
5. Build-to	
Primary street (min)	n/a
Side street (min)	n/a
6. Parking Location	
Parking between building & street	Allowed

B. Building Standards

1. Massing	
Ⓐ Building height (max)	1.5 stories / 18'
Building width (max)	n/a
Building floor area (max)	1,200 SF
2. Active Depth	
Primary street (min)	n/a
Side street (min)	n/a
3. Ground Story	
Ground story height (min)	n/a
Finished floor elevation (min/max)	n/a

	Primary St.	Side St.
4. Windows		
Ground story (min)	n/a	n/a
Upper story (min)	n/a	n/a
Blank wall width (max)	n/a	n/a
5. Doors		
Street-facing entry spacing (max)	n/a	n/a

1. Residential Cottage District

The Cottages on Vaughn in Clarkston, GA

19

1. Residential Cottage District

218 COMMERCE DRIVE
SOLD

214 COMMERCE DRIVE
SOLD

210 COMMERCE DRIVE
SOLD

226 COMMERCE DRIVE
SOLD

222 COMMERCE DRIVE
SOLD

206 COMMERCE DRIVE
SOLD

URBANIZE

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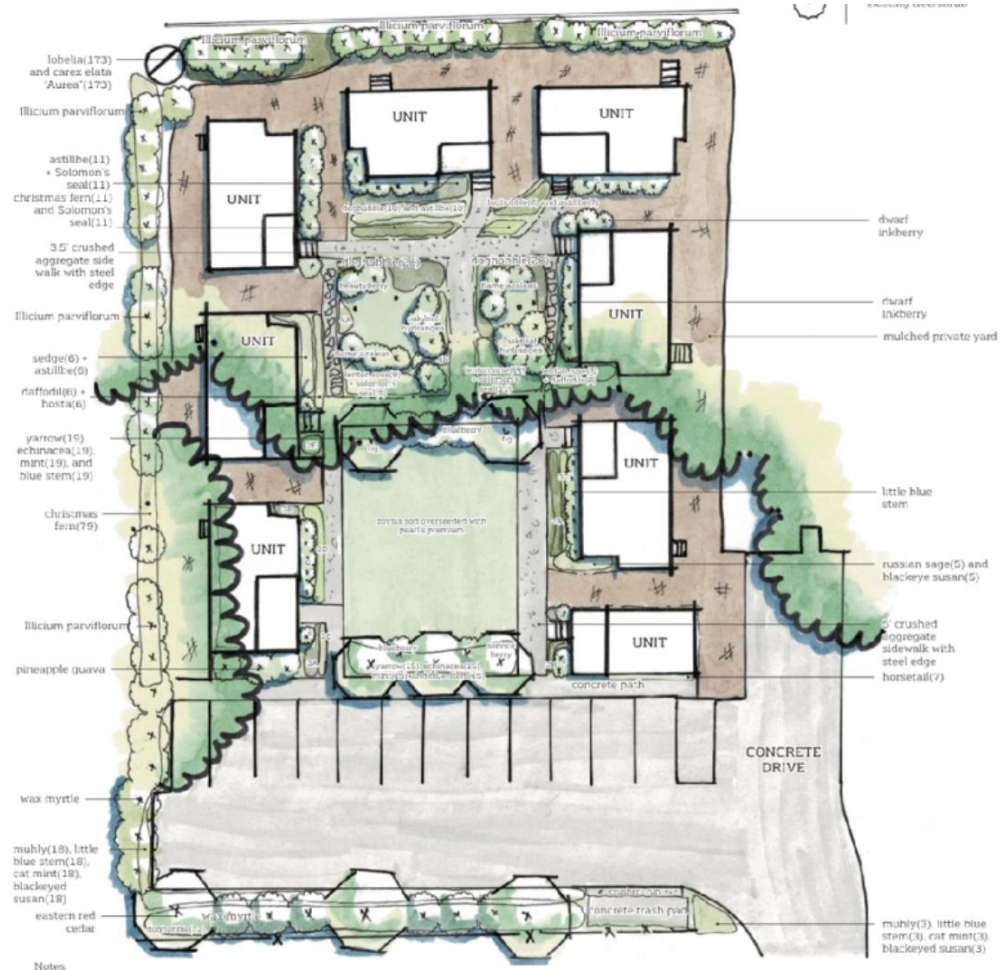
2. Alley Development

How should the zoning ordinance address development on alleys? What zoning requirements should be incorporated to address any concerns related to alley development?
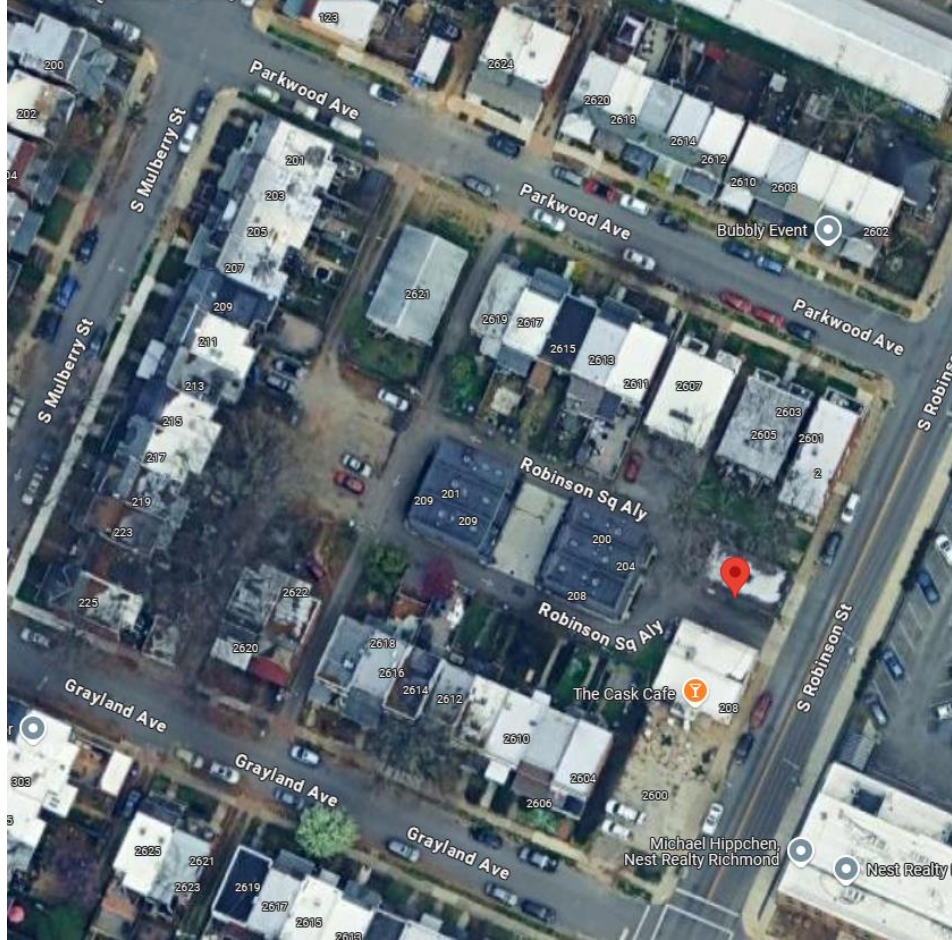
DIVISION 2. STREET FRONTAGE AND ACCESS TO LOTS

Sec. 30-610.1. Public street frontage and access easements.

Except as provided in Sections 30-610.2 and 30-610.3, every building erected and every use established shall be located on a lot having frontage on an improved public street or access thereto by means of a recorded permanent easement, provided that such easement is approved by the Director of Public Works, the Chief of Police and the Chief of Fire and Emergency Services as to its suitability for all-weather travel by public and emergency vehicles and provided, further, that appropriate agreements or covenants approved by the City Attorney provide for continued maintenance thereof. For single-family detached development, no more than two lots which do not have public street frontage shall be served by any such easement unless the easement shall have been recorded prior to June 10, 1960.
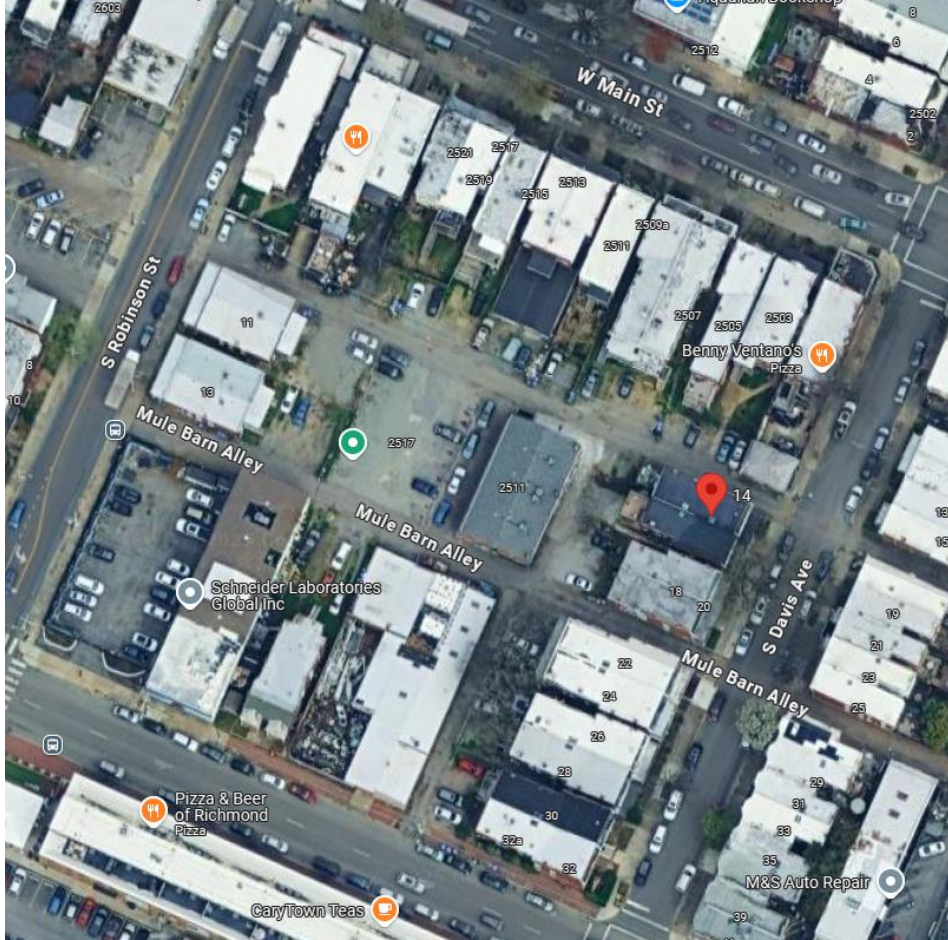
(Code 1993, § 32-610.1; Code 2004, § 114-610.1; Code 2015, § 30-610.1)

2. Alley Development

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2. Alley Development

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Goal 4: Urban Design

Establish a distinctive city comprising architecturally significant buildings connected by a network of walkable urban streets and open spaces to support an engaging built environment.

Building Form
Objective 4.1: Create and preserve high-quality, distinctive, and well-designed neighborhoods and Nodes throughout the city.
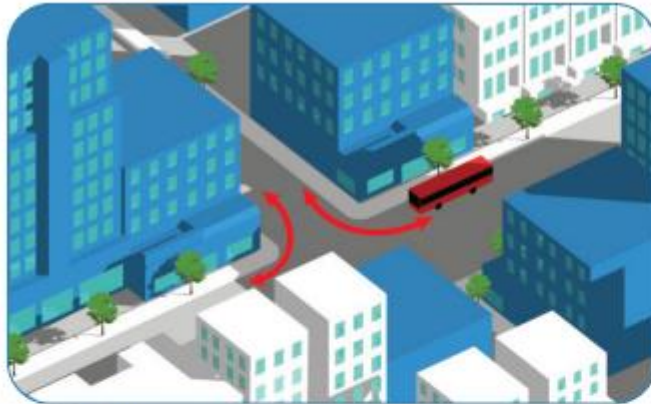
Hold the Corner

Appropriate Setbacks/Stepbacks

Façade Articulation

Entrances Face the Street

Transparency

Screened Parking/Services

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3. Setbacks

The draft zoning code allows buildings to be built closer to the street, and in some cases right up to the property line. What are your thoughts on the proposed building setbacks? Do the proposed setback requirements adequately accommodate space for streetscape elements (such as street trees, sidewalks, bike racks, and utility wires) when the right-of-way is limited, especially in mixed-use districts?

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4. Façade Articulation

Form-based zoning codes regulate the bulk and design of buildings and can break up building masses into more human-scale forms. The draft ordinance addresses horizontal articulation (differences in façade as you look across) through building width, limitations on blank wall width, and window requirements. Are there other requirements that should be included to address horizontal articulation and additionally vertical articulation (difference in base, middle and top as you look up)?

Six Form Elements

1 Hold the Corner: Buildings and spaces at intersections have active ground floors that wrap around the corner.

2 Entrances Face the Street: Main entrances to businesses and residences front the street, fostering pedestrian activity.

3 Appropriate Setbacks and Step-backs: Commercial uses are closer to the street while residential uses are set back to foster privacy and to create a semi-public space. Step-backs at upper stories create a means to honor the existing form without overwhelming it.

4 Transparency: Facade fenestration allows visibility to and from the street. This is especially important on the ground floor, where fenestration should occupy a higher percentage of the building face.

5 Facade Articulation: Long, monolithic facades should be broken up and made more human in scale by varying the street-wall plane, height, colors and materials.

6 Screened Parking/Services: Attractive landscaping pushed to the sidewalk helps to maintained a street-wall and mitigate the disruption caused by surface parking lots and utilitarian services.

FIGURE 16 // **Six Form Elements Overlaid on 18th and Main**

How can I participate?

Panel Discussion: Transportation and Richmond Code Refresh
Tuesday, June 24, 2025
6:00 p.m. to 7:30 p.m.
Richmond Main Public Library
101 East Franklin Street

Open House: Draft Districts, Uses, Map
Thursday, June 26, 2025
9:00 a.m. to 12:00 noon
City Hall – 1st Floor Lobby
900 East Broad Street

Open House: Draft Districts, Uses, Map
Wednesday, June 25, 2025
4:00 p.m. to 7:00 p.m.
Southside Community Center
6255 Old Warwick Road

Open House: Draft Districts, Uses, Map
Thursday, June 26, 2025
4:00 p.m. to 7:00 p.m.
Richmond Main Public Library
101 East Franklin Street

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