

# CONTENTS

**Article 2. Zoning Districts . . . . . 2-1**

    Sec. 2.1. General Provisions . . . . . 2-3

    Sec. 2.2. Residential Districts. . . . . 2-6

    Sec. 2.3. Mixed Use Districts . . . . . 2-22

    Sec. 2.4. Commercial & Industrial Districts . . . . . 2-43

    Sec. 2.5. Institutional & Open Space Districts . . . . . 2-51

    Sec. 2.6. Rules of Interpretation . . . . . 2-58

**Article 3. Use Provisions . . . . . 3-1**

    Sec. 3.1. Opening Provisions . . . . . 3-2

    Sec. 3.2. Use Permissions . . . . . 3-3

    Sec. 3.3. Use Definitions . . . . . 3-9

    Sec. 3.4. Specific Use Standards . . . . . 3-22

    Sec. 3.5. Accessory Uses and Structures . . . . . 3-28

    Sec. 3.6. Temporary Uses and Structures . . . . . 3-34





ARTICLE 2.

# ZONING DISTRICTS

**Sec. 2.1. General Provisions . . . . .2-3**

2.1.1. Zoning Districts Established . . . . . 2-3

2.1.2. Applicability . . . . . 2-4

**Sec. 2.2. Residential Districts . . . . .2-6**

2.2.1. Summary of Districts. . . . . 2-6

2.2.2. R-C Residential Cottage. . . . . 2-8

2.2.3. RD-A Residential Detached Low . . . . . 2-10

2.2.4. RD-B Residential Detached Medium . . . . .2-12

2.2.5. RD-C Residential Detached High. . . . .2-14

2.2.6. RA-A Residential Attached Low . . . . . 2-16

2.2.7. RA-B Residential Attached Medium. . . . . 2-18

2.2.8. RA-C Residential Attached High . . . . . 2-20

**Sec. 2.3. Mixed Use Districts. . . . .2-22**

2.3.1. Summary of Districts. . . . . 2-22

2.3.2. RX-4 Residential Mixed Use 4. . . . . 2-24

2.3.3. RX-6 Residential Mixed Use 6. . . . . 2-26

2.3.4. MX-3 Mixed Use 3 . . . . . 2-28

2.3.5. MX-6 Mixed Use 6 . . . . . 2-30

2.3.6. MX-8 Mixed Use 8 . . . . . 2-32

2.3.7. MX-13 Mixed Use 13 . . . . . 2-34

2.3.8. MX-U Mixed Use Unlimited . . . . . 2-36

2.3.9. IX-6 Industrial Mixed Use 6 . . . . . 2-38

2.3.10. IX-8 Industrial Mixed Use 8 . . . . . 2-40

**Sec. 2.4. Commercial & Industrial Districts . . . . .2-43**

2.4.1. Summary of Districts. . . . . 2-43

2.4.2. CG Commercial General . . . . . 2-44

2.4.3. IL Industrial Light . . . . . 2-46

2.4.4. IH Industrial Heavy . . . . . 2-48

**Sec. 2.5. Institutional & Open Space Districts . . . . . 2-51**

2.5.1. Summary of Districts. . . . . 2-51

2.5.2. INS Institutional . . . . . 2-52

2.5.3. CEM Cemetery . . . . . 2-54

2.5.4. OS Open Space . . . . . 2-56

**Sec. 2.6. Rules of Interpretation . . . . . 2-58**

2.6.1. General Terms and Designations . . . . . 2-58

2.6.2. Lots . . . . . 2-64

2.6.3. Dwelling Units . . . . . 2-66

2.6.4. Coverage . . . . . 2-67

2.6.5. Building Setbacks . . . . . 2-72

2.6.6. Build-To . . . . . 2-78

2.6.7. Parking Location . . . . . 2-82

2.6.8. Massing . . . . . 2-84

2.6.9. Active Depth . . . . . 2-91

2.6.10. Ground Story . . . . . 2-92

2.6.11. Windows . . . . . 2-95

2.6.12. Doors . . . . . 2-106

## SEC. 2.1. GENERAL PROVISIONS

### 2.1.1. Zoning Districts Established

In order to carry out the purposes and intent of this Code, the following zoning districts are established.

<b>1. Residential Districts</b>
<i>R-C</i> Residential Cottage
<i>RD-A</i> Residential Detached Low
<i>RD-B</i> Residential Detached Medium
<i>RD-C</i> Residential Detached High
<i>RA-A</i> Residential Attached Low
<i>RA-B</i> Residential Attached Medium
<i>RA-C</i> Residential Attached High
<b>2. Mixed Use Districts</b>
<i>RX-4</i> Residential Mixed Use 4
<i>RX-6</i> Residential Mixed Use 6
<i>MX-3</i> Mixed Use 3
<i>MX-6</i> Mixed Use 6
<i>MX-8</i> Mixed Use 8
<i>MX-13</i> Mixed Use 13
<i>MX-U</i> Mixed Use Unlimited
<i>IX-6</i> Industrial Mixed Use 6
<i>IX-8</i> Industrial Mixed Use 8
<b>3. Commercial and Industrial Districts</b>
<i>CG</i> Commercial General
<i>IL</i> Industrial Light
<i>IH</i> Industrial Heavy
<b>4. Institutional and Open Space Districts</b>
<i>INS</i> Institutional
<i>CEM</i> Cemetery
<i>OS</i> Open Space

## 2.1.2. Applicability

- A. District requirements apply based on what type of project activity is proposed, as shown in the table below. Typically, more than one project activity applies (for example, an expansion of an existing use may include both an addition and a facade modification).

Cross-reference	District Requirements	Project Activity						
		New Construction	Addition	Site Modification	Facade Modification	Change of Use	Renovation	Maintenance and Repair
2.6.2	Lot Size	●	○	○	○	○	○	○
2.6.3	Dwelling Units	●	●	○	○	●	●	○
2.6.4.A	Building Coverage	●	●	○	○	○	○	○
2.6.4.B	Outdoor Amenity Space	●	○	○	○	○	○	○
2.6.5	Building Setbacks	●	●	○	○	○	○	○
2.6.6	Build-To	●	○	○	○	○	○	○
2.6.7	Parking Location	●	●	●	○	○	○	○
2.6.8	Massing	●	●	○	○	○	○	○
2.6.9	Active Depth	●	○	○	○	○	○	○
2.6.10	Ground Story	●	○	○	○	○	○	○
2.6.11	Windows	●	○	○	●	○	○	○
2.6.12	Doors	●	○	○	●	○	○	○

● = Standards apply ○ = Standards do not apply

- B. Where a Section is listed as applying, and the zoning district includes standards for that requirement, all standards must be met. The standards may be further modified by the applicability provisions for each set of standards in *Sec. 2.6. Rules of Interpretation*. Applicability may also be modified by **XX. Nonconformities**.

**New Construction:** Any activity that includes the construction of a new building or structure. Includes relocation of an existing structure to another location on the lot, or to any other lot. Relocation of an existing structure includes any activity that lifts any portion of a building off its foundation.

**Addition:** Any expansion of an existing building or structure that is less than the footprint of the existing building or structure, up to 25,000 square feet of new floor area. Includes activity that increases the floor area or the height of an enclosed space within an existing building. Any expansion that exceeds these thresholds is considered new construction.

**Site Modification:** Any modification of an existing site that affects less than 50% of the existing site area, up to 25,000 square feet of affected site area. Any site modification that exceeds these thresholds is considered new construction.

**Facade Modification:** Any change to the exterior envelope of a building that affects more than 250 square feet of facade area. Facade modifications include changes to any of the following: the facade of a building; the amount of exterior foundation wall that is exposed above finished grade; or an architectural element including a balcony, porch, or deck attached to a facade.

**Change of Use:** Any change in use or a modification of an area designed and intended for a specific use from a previously approved use. Includes a change in the principal use of any portion of a building or lot from one to another. Includes the expansion of floor area, site area, or lot area dedicated to a use or an increase in the intensity of a use, such as an increase in seating capacity or the number of persons in care.

**Renovation:** Any modification to an existing building or structure that does not expand the building or structure and does not exceed the following: removal of up to 50% of the perimeter wall framing; removal of up to 50% of the roof framing; or removal of up to 50% of the structural members. Any modification that exceeds these thresholds is considered new construction.

**Maintenance and Repair:** Activity done to correct the deterioration, decay of, or damage to, any part of a building, structure, or lot, that does not involve a change or modification of the existing design, outward appearance or applicable zoning requirements. In-kind replacement of deteriorated or damaged parts of a building is considered maintenance and repair. Maintenance and repair includes repair of site components such as parking lots or landscaping, but does not include resurfacing of an existing parking lot. Includes any modification to meet fire, life safety, and ADA requirements.

## SEC. 2.2. RESIDENTIAL DISTRICTS

### 2.2.1. Summary of Districts

#### A. Residential Cottage (R-C)

Allows for clusters of small detached houses that could include manufactured and tiny home parks, and cottage courts on a site no less than 20,000 square feet in area.



#### B. Residential Detached Low (RD-A)

Allows up to 2 units and an accessory dwelling unit on a lot no less than 90 feet in width, includes single-family detached and duplexes.



#### C. Residential Detached Medium (RD-B)

Allows up to 2 units and an accessory dwelling unit on a lot no less than 50 feet in width, includes single-family detached and duplexes.



#### D. Residential Detached High (RD-C)

Allows up to 2 units and an accessory dwelling unit on a lot no less than 25 feet in width, includes single-family detached and duplexes.



**E. Residential Attached Low (RA-A)**

Allows up to 2 units and an accessory dwelling unit on a lot, includes single-family detached, single-family attached, duplexes, and rowhouses.



**F. Residential Attached Medium (RA-B)**

Allows up to 6 units in a building, includes single-family detached, duplexes, single-family attached, rowhouses, and multiplexes.



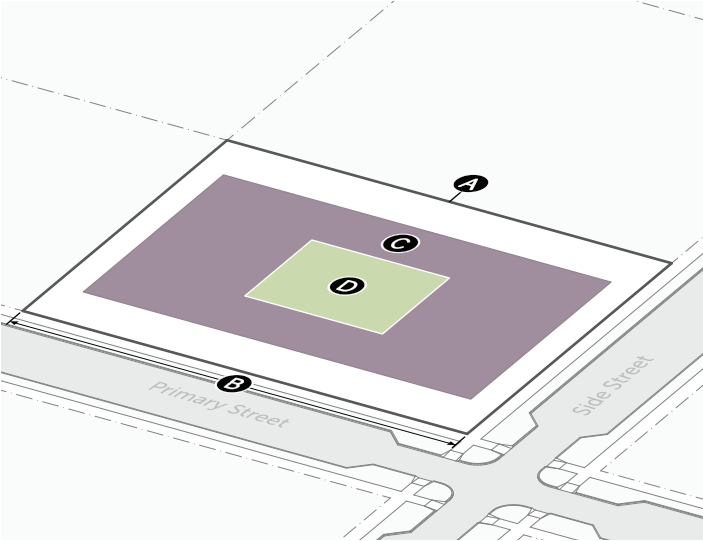
**G. Residential Attached High (RA-C)**

Allows up to 12 units in a building, includes single-family detached, single-family attached, duplexes, rowhouses, stacked townhouses, multiplexes, and apartments.

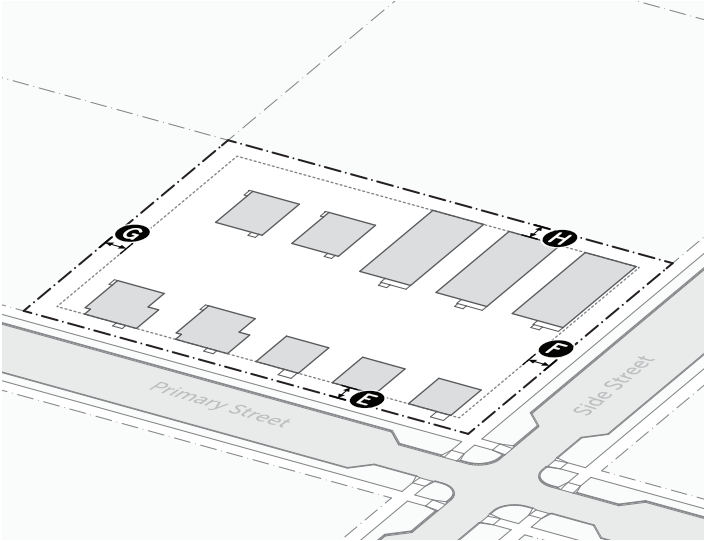


2.2.2. R-C RESIDENTIAL COTTAGE

A. Lot Standards



1. Lot Size	Sec. 2.6.2
A Lot area (min)	20,000 SF
B Lot width (min)	100'
2. Dwelling Units	Sec. 2.6.3
Dwelling units per building (max)	1
3. Coverage	Sec. 2.6.4
C Building coverage (max)	60%
D Amenity space (min)	10%

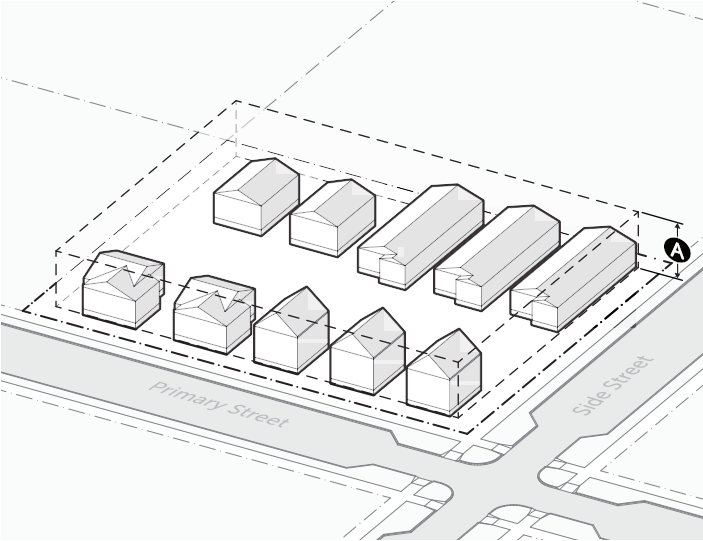


4. Building Setbacks	Sec. 2.6.5
E Primary street (min)	10'
F Side street (min)	10'
G Side (min)	10'
H Rear (min)	10'
Alley (min)	3'
5. Build-to	Sec. 2.6.6
Primary street (min)	n/a
Side street (min)	n/a
6. Parking Location	Sec. 2.6.7
Parking setback (min)	n/a
Parking between building & street	Allowed



# R-C

## B. Building Standards



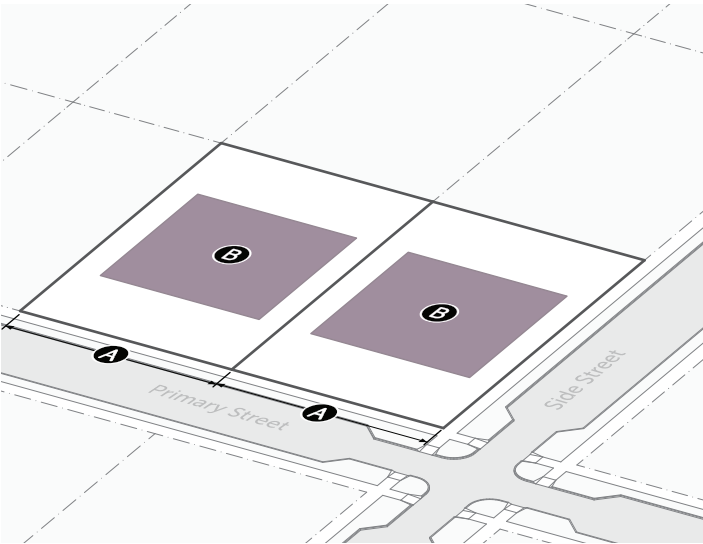
1. Massing	Sec. 2.6.8
A Building height (max)	1.5 stories/18'
Building width (max)	n/a
Building floor area (max)	1,200 SF
2. Active Depth	Sec. 2.6.9
Primary street (min)	n/a
Side street (min)	n/a
3. Ground Story	Sec. 2.6.10
Ground story height (min)	n/a
Finished floor elevation (min/max)	n/a



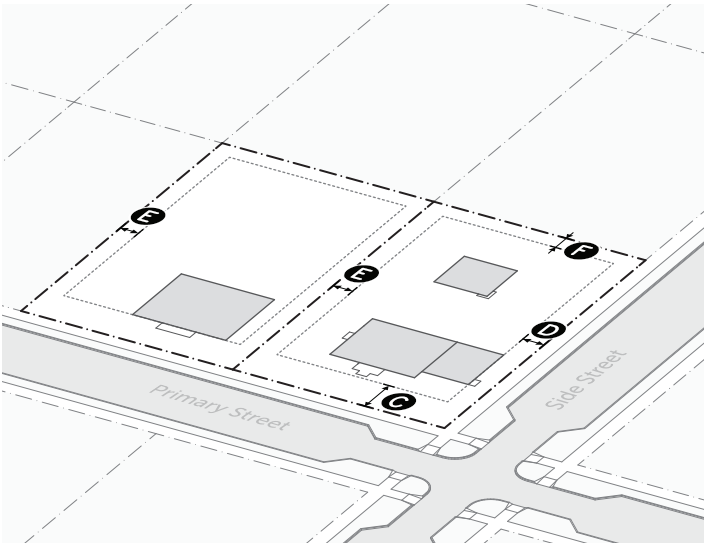
	Primary St.	Side St.
4. Windows	Sec. 2.6.11	
Ground story (min)	n/a	n/a
Upper story (min)	n/a	n/a
Blank wall width (max)	n/a	n/a
5. Doors	Sec. 2.6.12	
Street-facing entry spacing (max)	n/a	n/a

2.2.3. **RD-A** RESIDENTIAL DETACHED LOW

A. Lot Standards



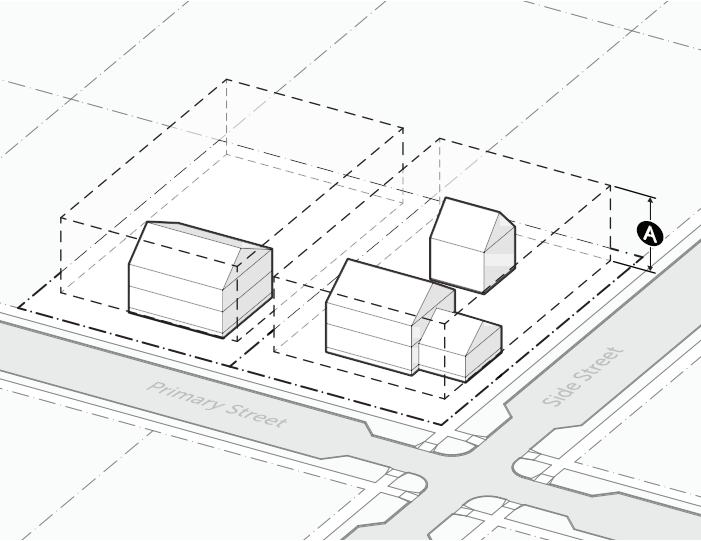
1. Lot Size	Sec. 2.6.2
A Lot width (min)	90'
2. Dwelling Units	Sec. 2.6.3
Dwelling units per lot (max)	2 plus ADU
3. Coverage	Sec. 2.6.4
B Building coverage (max)	40%
Amenity space (min)	n/a



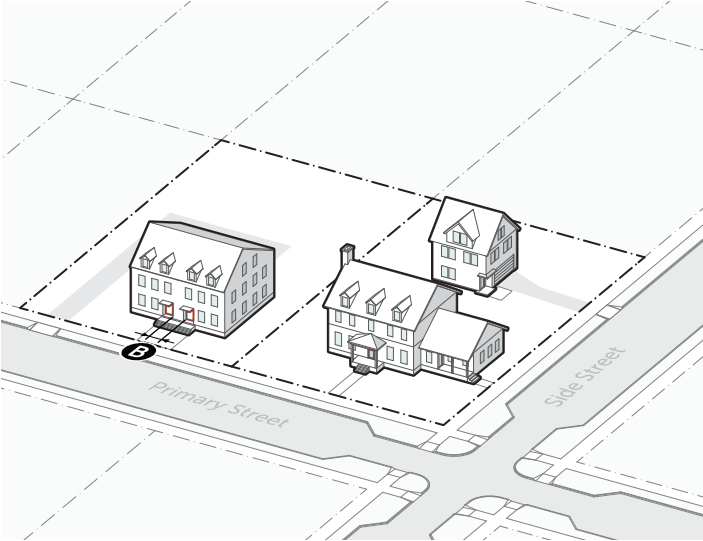
4. Building Setbacks	Sec. 2.6.5
C Primary street (min)	Existing range or 20'
D Side street (min)	10'
E Side (min)	9'
F Rear (min)	9'
Alley (min)	3'
5. Build-to	Sec. 2.6.6
Primary street (min)	n/a
Side street (min)	n/a
6. Parking Location	Sec. 2.6.7
Parking setback (min)	n/a
Parking between building & street	Allowed

# RD-A

## B. Building Standards



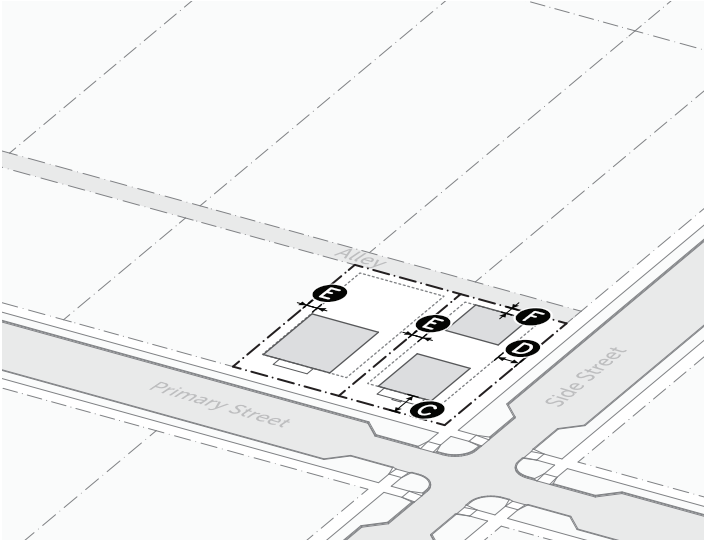
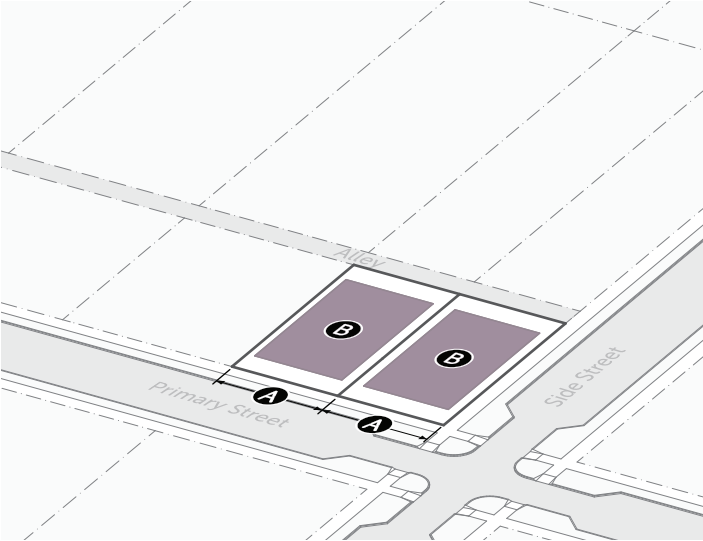
1. Massing	Sec. 2.6.8
A Building height (max)	3 stories/35'
Building width (max)	n/a
2. Active Depth	Sec. 2.6.9
Primary street (min)	n/a
Side street (min)	n/a
3. Ground Story	Sec. 2.6.10
Ground story height (min)	n/a
Finished floor elevation (min/max)	n/a



	Primary St.	Side St.
4. Windows	Sec. 2.6.11	
Ground story (min)	n/a	n/a
Upper story (min)	n/a	n/a
Blank wall width (max)	n/a	n/a
5. Doors	Sec. 2.6.12	
B Street-facing entry spacing (max)	100'	n/a

2.2.4. **RD-B** RESIDENTIAL DETACHED MEDIUM

A. Lot Standards

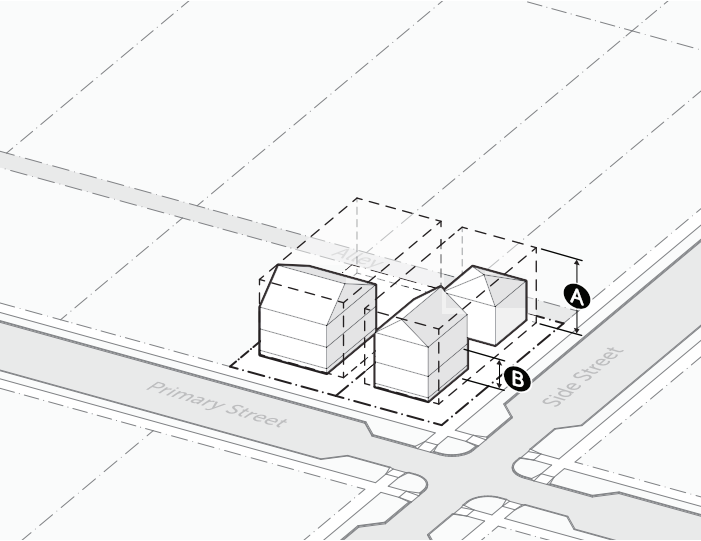


1. Lot Size	Sec. 2.6.2
A Lot width (min)	50'
2. Dwelling Units	Sec. 2.6.3
Dwelling units per lot (max)	2 plus ADU
3. Coverage	Sec. 2.6.4
B Building coverage (max)	60%
Amenity space (min)	n/a

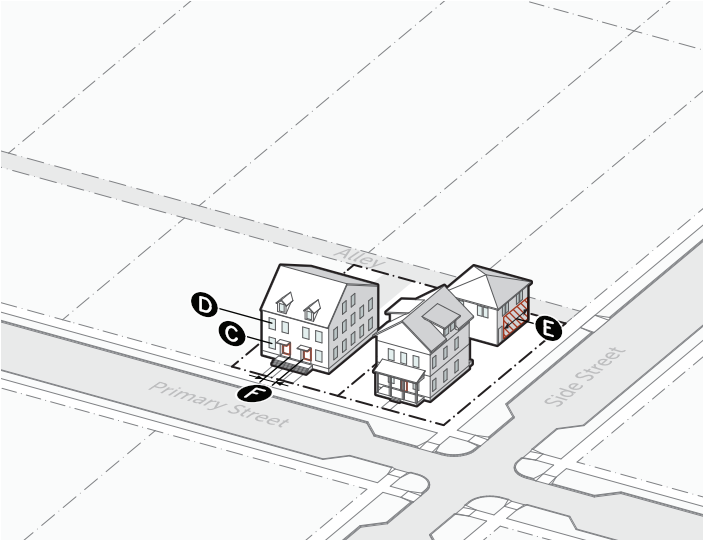
4. Building Setbacks	Sec. 2.6.5
C Primary street (min)	Existing range or 20'
D Side street (min)	10'
E Side (min)	5'
Rear (min)	5'
F Alley (min)	3'
5. Build-to	Sec. 2.6.6
Primary street (min)	n/a
Side street (min)	n/a
6. Parking Location	Sec. 2.6.7
Parking setback (min)	n/a
Parking between building & street	Allowed

# RD-B

## B. Building Standards



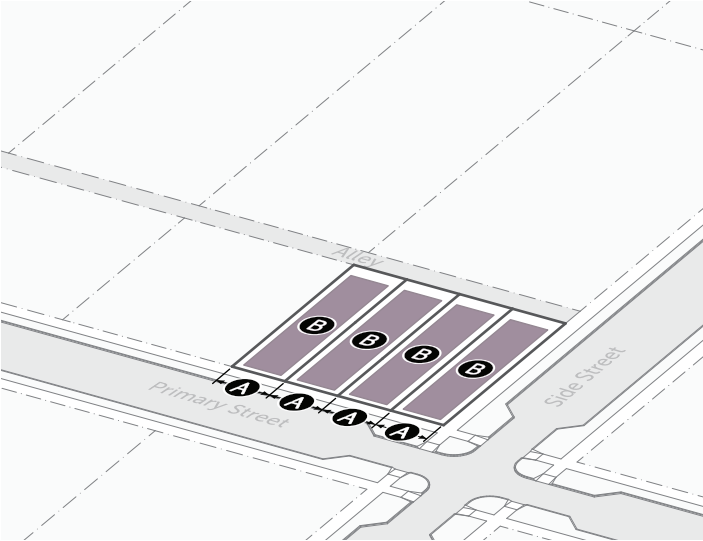
1. Massing	Sec. 2.6.8
A Building height (max)	3 stories/35'
Building width (max)	n/a
2. Active Depth	Sec. 2.6.9
Primary street (min)	n/a
Side street (min)	n/a
3. Ground Story	Sec. 2.6.10
B Ground story height (min)	9'
Finished floor elevation (min/max)	0'/4'



	Primary St.	Side St.
4. Windows	Sec. 2.6.11	
C Ground story (min)	15%	10%
D Upper story (min)	10%	10%
E Blank wall width (max)	20'	25'
5. Doors	Sec. 2.6.12	
F Street-facing entry spacing (max)	100'	n/a

2.2.5. **RD-C** RESIDENTIAL DETACHED HIGH

A. Lot Standards



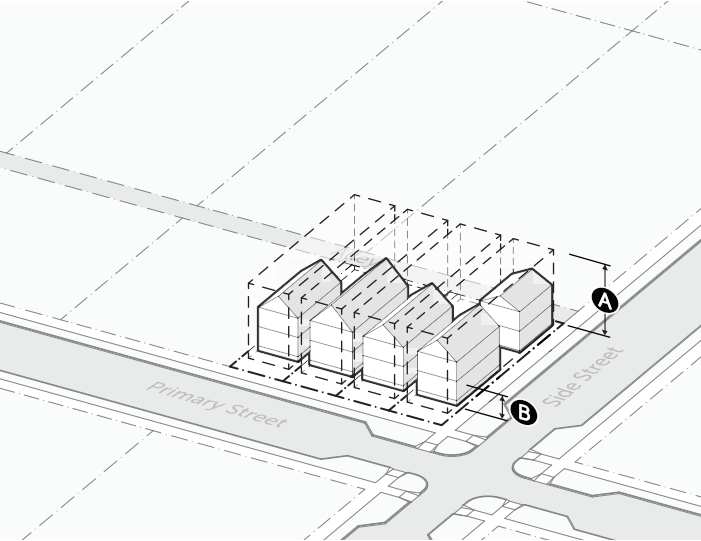
1. Lot Size	Sec. 2.6.2
A Lot width (min)	25'
2. Dwelling Units	Sec. 2.6.3
Dwelling units per lot (max)	2 plus ADU
3. Coverage	Sec. 2.6.4
B Building coverage (max)	75%
Amenity space (min)	n/a



4. Building Setbacks	Sec. 2.6.5
C Primary street (min)	Existing range or 10'
D Side street (min)	0'
E Side (min)	3'
Rear (min)	3'
F Alley (min)	3'
5. Build-to	Sec. 2.6.6
Primary street (min)	n/a
Side street (min)	n/a
6. Parking Location	Sec. 2.6.7
Parking setback (min)	9'
Parking between building & street	Not allowed

# RD-C

## B. Building Standards



1. Massing	Sec. 2.6.8
A Building height (max)	3 stories/35'
Building width (max)	n/a
2. Active Depth	Sec. 2.6.9
Primary street (min)	n/a
Side street (min)	n/a
3. Ground Story	Sec. 2.6.10
B Ground story height (min)	9'
Finished floor elevation (min/max)	0'/4'



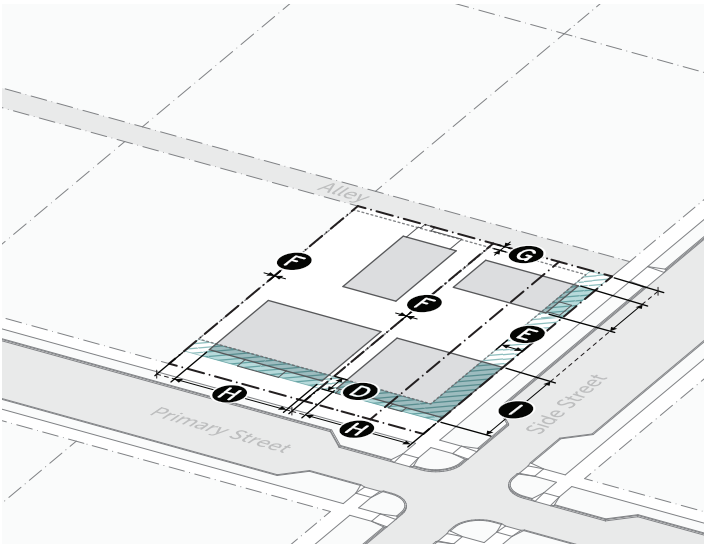
	Primary St.	Side St.
4. Windows	Sec. 2.6.11	
C Ground story (min)	15%	10%
D Upper story (min)	10%	10%
E Blank wall width (max)	20'	25'
5. Doors	Sec. 2.6.12	
F Street-facing entry spacing (max)	50'	n/a

2.2.6. RA-A RESIDENTIAL ATTACHED LOW

A. Lot Standards



1. Lot Size	Sec. 2.6.2
A Lot width (min)	0'
2. Dwelling Units	Sec. 2.6.3
Dwelling units per lot (max)	2 plus ADU
3. Coverage	Sec. 2.6.4
B Building coverage (max)	80%
C Amenity space (min)	10%

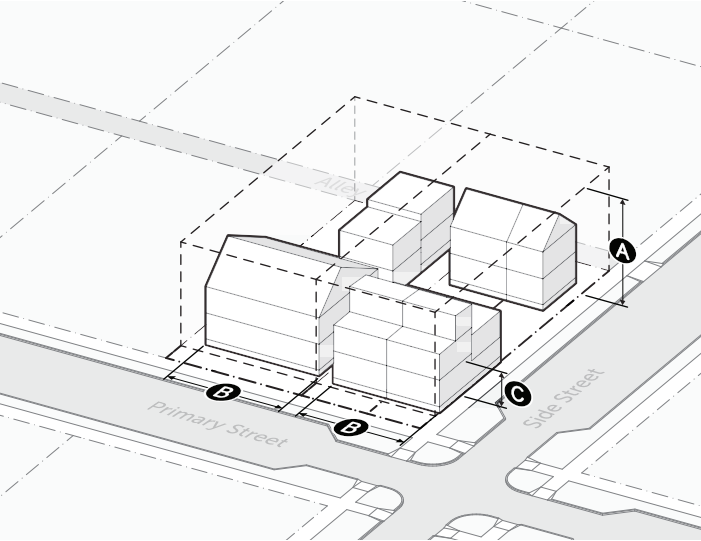


4. Building Setbacks	Sec. 2.6.5
D Primary street (min/max)	Existing range or 10'/20'
E Side street (min/max)	0'/10'
F Side (min)	0'
Rear (min)	0'
G Alley (min)	3'
5. Build-to	Sec. 2.6.6
H Primary street (min)	70%
I Side street (min)	35%
6. Parking Location	Sec. 2.6.7
Parking setback (min)	9'
Parking between building & street	Not allowed



# RA-A

## B. Building Standards



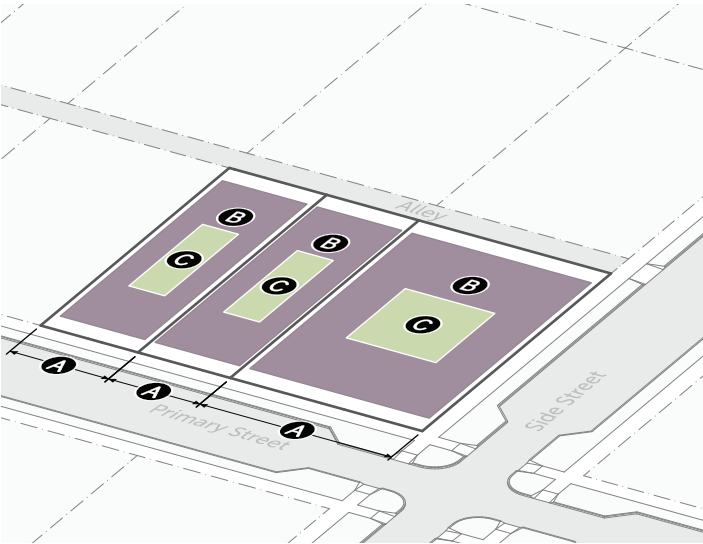
1. Massing	Sec. 2.6.8
A Building height (max)	3 stories/35'
B Building width (max)	75'
2. Active Depth	Sec. 2.6.9
Primary street (min)	n/a
Side street (min)	n/a
3. Ground Story	Sec. 2.6.10
C Ground story height (min)	10'
Finished floor elevation (min/max)	0'/4'



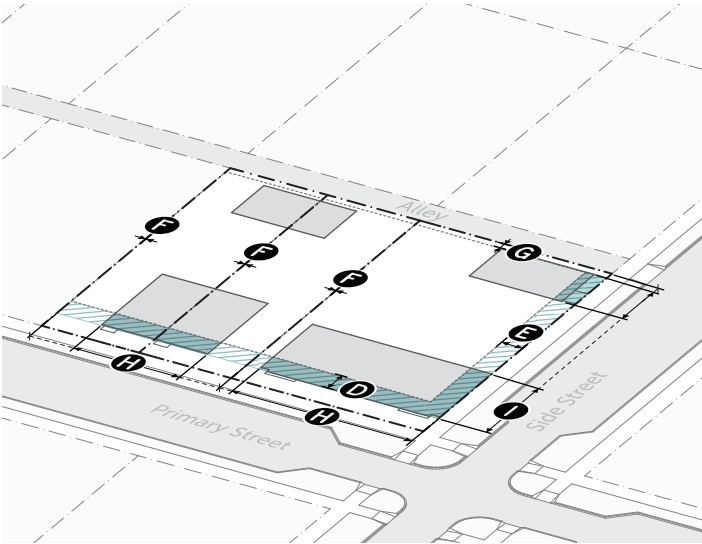
	Primary St.	Side St.
4. Windows	Sec. 2.6.11	
D Ground story (min)	15%	10%
E Upper story (min)	10%	10%
F Blank wall width (max)	20'	25'
5. Doors	Sec. 2.6.12	
G Street-facing entry spacing (max)	50'	n/a

2.2.7. RA-B RESIDENTIAL ATTACHED MEDIUM

A. Lot Standards



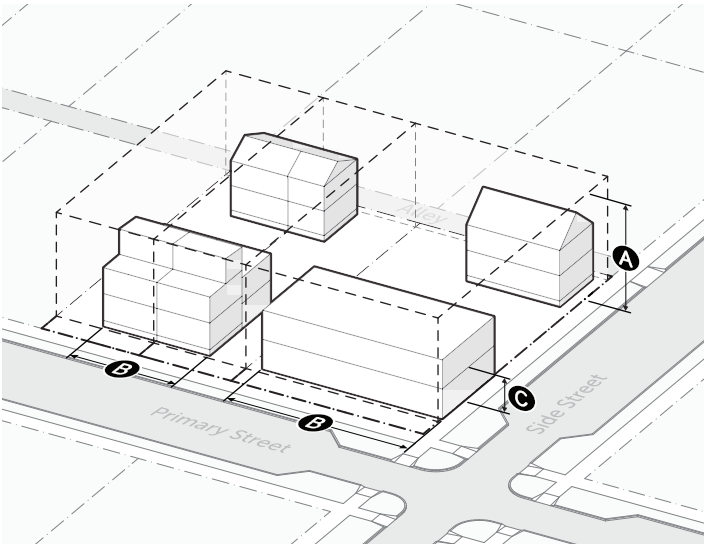
1. Lot Size	Sec. 2.6.2
A Lot width (min)	0'
2. Dwelling Units	Sec. 2.6.3
Dwelling units per building (max)	6
3. Coverage	Sec. 2.6.4
B Building coverage (max)	80%
C Amenity space (min)	10%



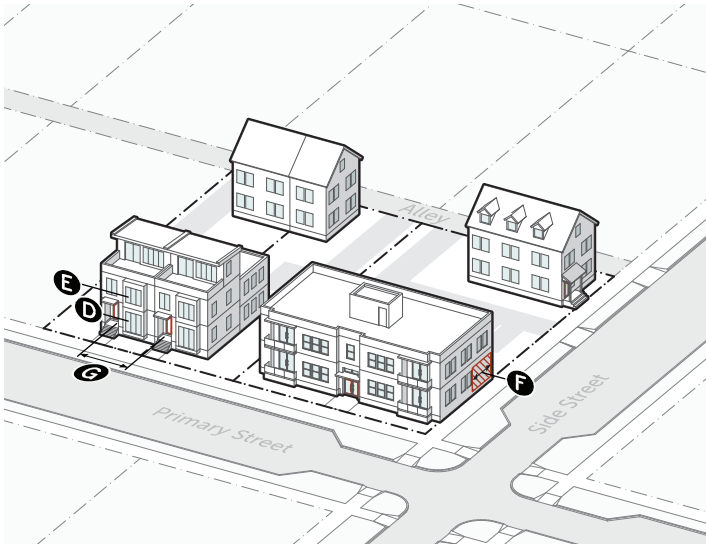
4. Building Setbacks	Sec. 2.6.5
D Primary street (min/max)	Existing range or 10'/20'
E Side street (min/max)	0'/10'
F Side (min)	0'
Rear (min)	0'
G Alley (min)	3'
5. Build-to	Sec. 2.6.6
H Primary street (min)	70%
I Side street (min)	35%
6. Parking Location	Sec. 2.6.7
Parking setback (min)	9'
Parking between building & street	Not allowed

RA-B

B. Building Standards



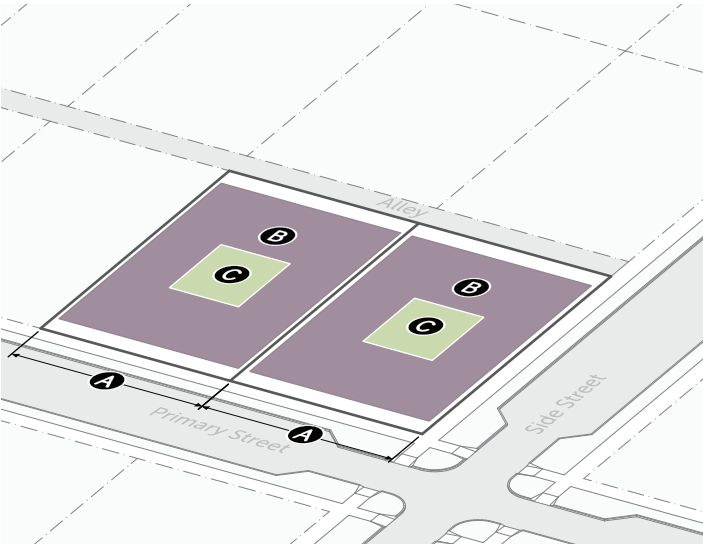
1. Massing	Sec. 2.6.8
A Building height (max)	3 stories/40'
B Building width (max)	100'
2. Active Depth	Sec. 2.6.9
Primary street (min)	n/a
Side street (min)	n/a
3. Ground Story	Sec. 2.6.10
C Ground story height (min)	10'
Finished floor elevation (min/max)	0'/4'



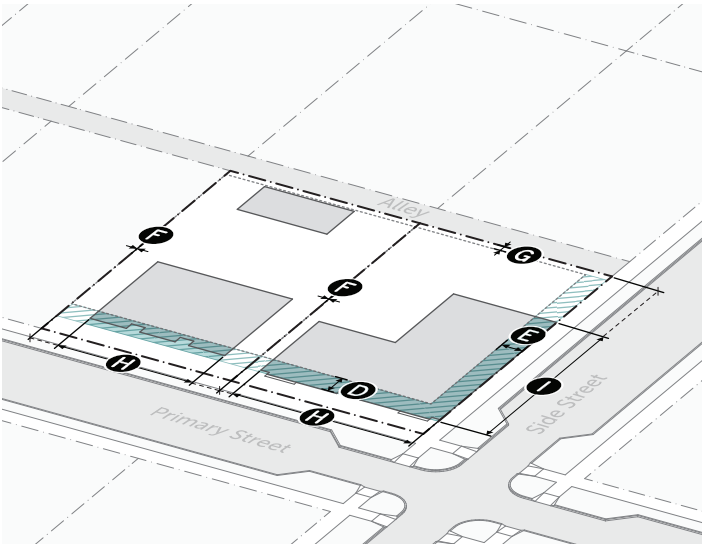
	Primary St.	Side St.
4. Windows	Sec. 2.6.11	
D Ground story (min)	20%	15%
E Upper story (min)	15%	15%
F Blank wall width (max)	15'	20'
5. Doors	Sec. 2.6.12	
G Street-facing entry spacing (max)	75'	n/a

2.2.8. RA-C RESIDENTIAL ATTACHED HIGH

A. Lot Standards



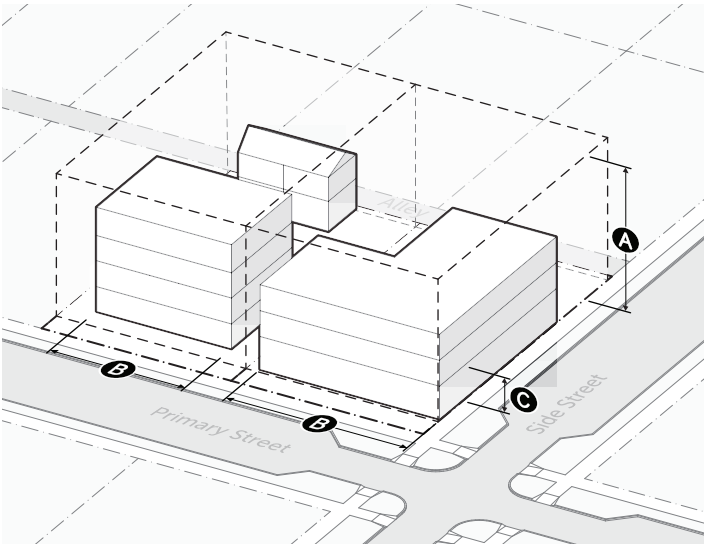
1. Lot Size	Sec. 2.6.2
A Lot width (min)	0'
2. Dwelling Units	Sec. 2.6.3
Dwelling units per building (max)	12
3. Coverage	Sec. 2.6.4
B Building coverage (max)	80%
C Amenity space (min)	10%



4. Building Setbacks	Sec. 2.6.5
D Primary street (min/max)	Existing range or 10'/20'
E Side street (min/max)	0'/10'
F Side (min)	0'
Rear (min)	0'
G Alley (min)	3'
5. Build-to	Sec. 2.6.6
H Primary street (min)	70%
I Side street (min)	35%
6. Parking Location	Sec. 2.6.7
Parking setback (min)	9'
Parking between building & street	Not allowed

RA-C

B. Building Standards



1. Massing	Sec. 2.6.8
A Building height (max)	4 stories/50'
B Building width (max)	125'
2. Active Depth	Sec. 2.6.9
Primary street (min)	n/a
Side street (min)	n/a
3. Ground Story	Sec. 2.6.10
C Ground story height (min)	10'
Finished floor elevation (min/max)	0'/4'



	Primary St.	Side St.
4. Windows	Sec. 2.6.11	
D Ground story (min)	15%	10%
E Upper story (min)	10%	10%
F Blank wall width (max)	20'	25'
5. Doors	Sec. 2.6.12	
G Street-facing entry spacing (max)	75'	n/a

## SEC. 2.3. MIXED USE DISTRICTS

### 2.3.1. Summary of Districts

#### A. Residential Mixed Use 4 (RX-4)

Allows up to a 4-story residential building, includes single-family detached, single-family attached, duplexes, rowhouses, stacked townhouses, multiplexes, and apartments. Also allows ground floor commercial.



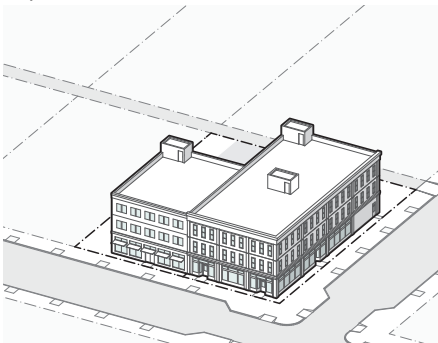
#### B. Residential Mixed Use 6 (RX-6)

Allows up to a 6-story residential building, includes single-family attached, duplexes, rowhouses, stacked townhouses, multiplexes, and apartments. Also allows ground floor commercial.



#### C. Mixed Use 3 (MX-3)

Allows up to a 3-story residential, commercial or mixed use building. Also includes rowhouses, stacked townhouses, multiplexes, and apartments.



#### D. Mixed Use 6 (MX-6)

Allows up to a 6-story residential, commercial or mixed use building. Also includes rowhouses, stacked townhouses, multiplexes, and apartments.



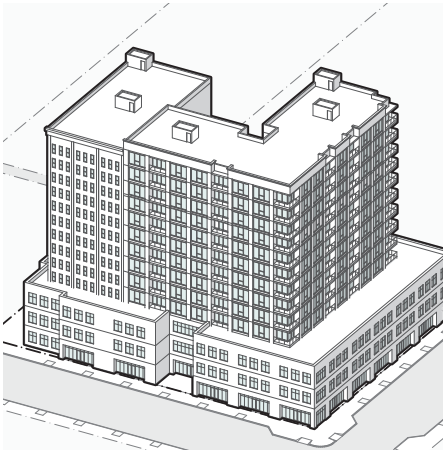
#### E. Mixed Use 8 (MX-8)

Allows up to an 8-story residential, commercial or mixed use building. Also includes rowhouses, stacked townhouses, multiplexes, and apartments.



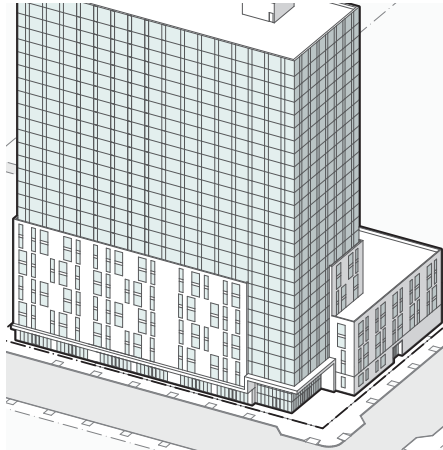
**F. Mixed Use 13 (MX-13)**

Allows up to a 13-story residential, commercial or mixed use building.



**G. Mixed Use Unlimited (MX-U)**

Allows an unlimited in height residential, commercial or mixed use building.



**H. Industrial Mixed Use 6 (IX-6)**

Allows up to a 6-story residential, commercial, light industrial or mixed use building. Also includes rowhouses, stacked townhouses, multiplexes, and apartments



**I. Industrial Mixed Use 8 (IX-8)**

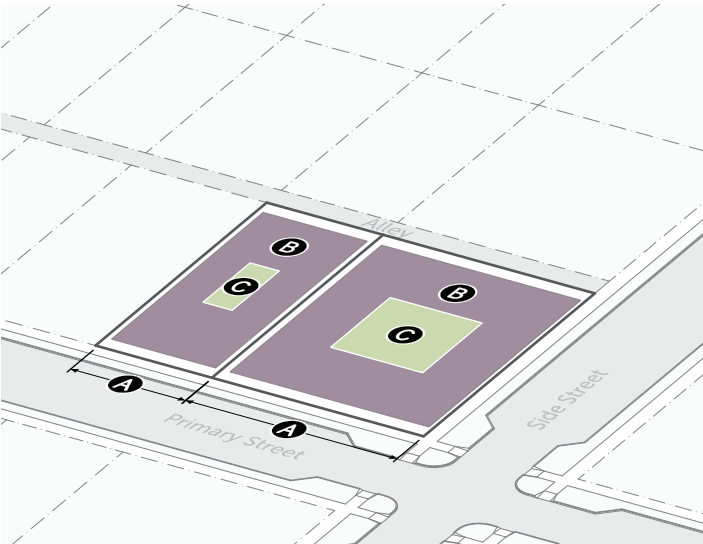
Allows up to an 8-story residential, commercial, light industrial or mixed use building. Also includes rowhouses, stacked townhouses, multiplexes, and apartments



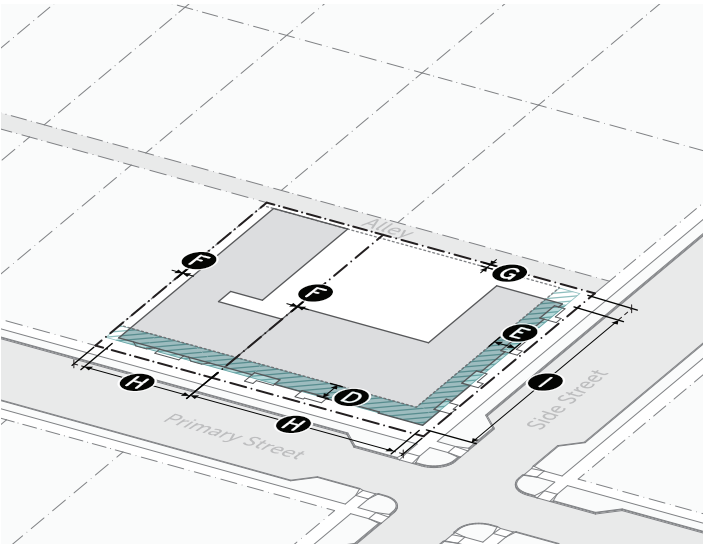


2.3.2. **RX-4** RESIDENTIAL MIXED USE 4

A. Lot Standards



1. Lot Size	Sec. 2.6.2
A Lot width (min)	0'
2. Dwelling Units	Sec. 2.6.3
Dwelling units per building (max)	n/a
3. Coverage	Sec. 2.6.4
B Building coverage (max)	80%
C Amenity space (min)	15%

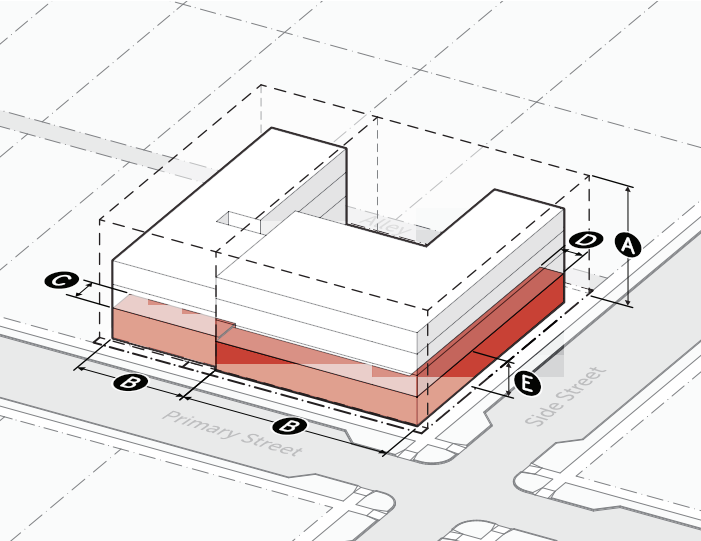


4. Building Setbacks	Sec. 2.6.5
D Primary street (min/max)	5'/15'
E Side street (min/max)	5'/15'
F Side (min)	0'
Rear (min)	0'
G Alley (min)	3'
5. Build-to	Sec. 2.6.6
H Primary street (min)	70%
I Side street (min)	35%
6. Parking Location	Sec. 2.6.7
Parking setback (min)	n/a
Parking between building & street	Not allowed



RX-4

B. Building Standards



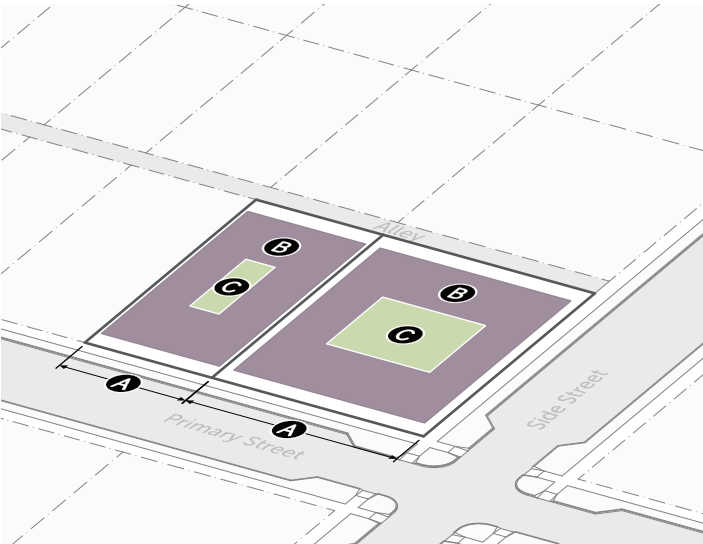
1. Massing	Sec. 2.6.8
A Building height (max)	4 stories/55'
B Building width (max)	175'
2. Active Depth	Sec. 2.6.9
C Primary street (min)	9'
D Side street (min)	9'
3. Ground Story	Sec. 2.6.10
E Ground story height (min)	
Residential	10'
Nonresidential	12'
Finished floor elevation (min/max)	-2'/4'



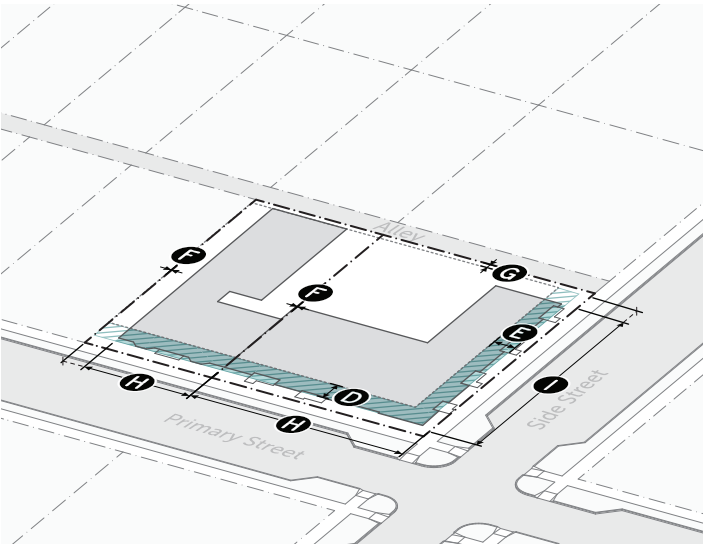
	Primary St.	Side St.
4. Windows	Sec. 2.6.11	
F Ground story (min)		
Residential	20%	20%
Nonresidential	40%	20%
G Upper story (min)	15%	15%
H Blank wall width (max)	15'	25'
5. Doors	Sec. 2.6.12	
I Street-facing entry spacing (max)	50'	75'

2.3.3. **RX-6** RESIDENTIAL MIXED USE 6

A. Lot Standards



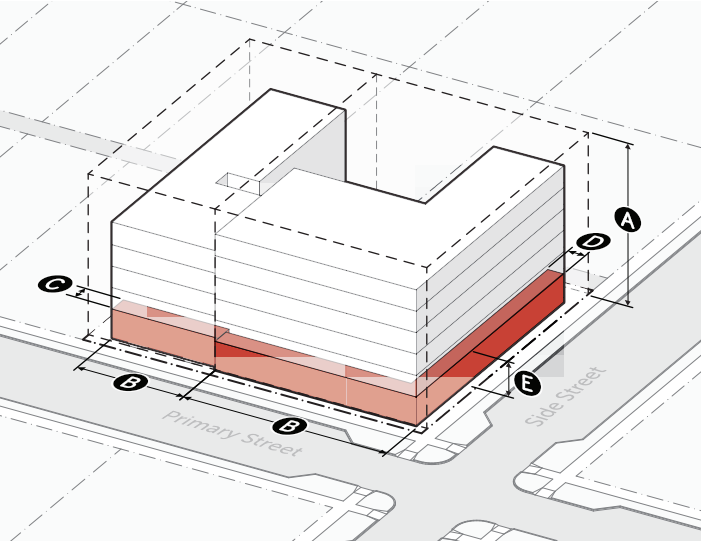
1. Lot Size	Sec. 2.6.2
A Lot width (min)	0'
2. Dwelling Units	Sec. 2.6.3
Dwelling units per building (max)	n/a
3. Coverage	Sec. 2.6.4
B Building coverage (max)	80%
C Amenity space (min)	15%



4. Building Setbacks	Sec. 2.6.5
D Primary street (min/max)	5'/15'
E Side street (min/max)	5'/15'
F Side (min)	0'
Rear (min)	0'
G Alley (min)	3'
5. Build-to	Sec. 2.6.6
H Primary street (min)	70%
I Side street (min)	35%
6. Parking Location	Sec. 2.6.7
Parking setback (min)	n/a
Parking between building & street	Not allowed

RX-6

B. Building Standards



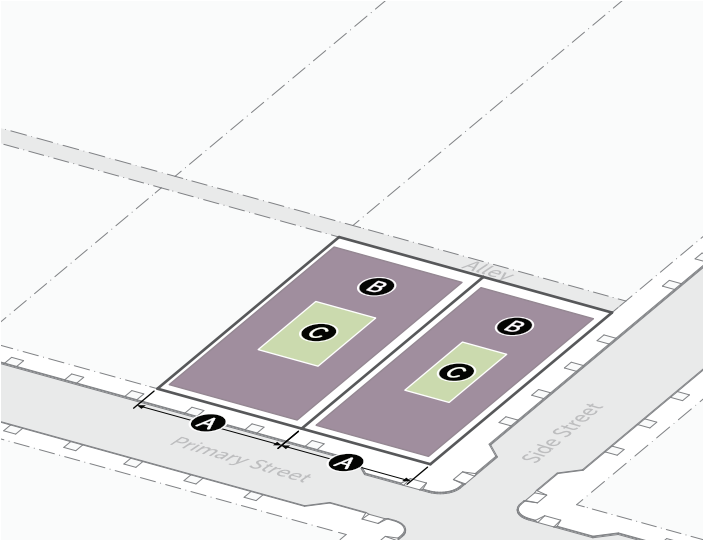
1. Massing	Sec. 2.6.8
A Building height (max)	6 stories/75'
B Building width (max)	200'
2. Active Depth	Sec. 2.6.9
C Primary street (min)	9'
D Side street (min)	9'
3. Ground Story	Sec. 2.6.10
E Ground story height (min)	
Residential	10'
Nonresidential	12'
Finished floor elevation (min/max)	-2'/4'



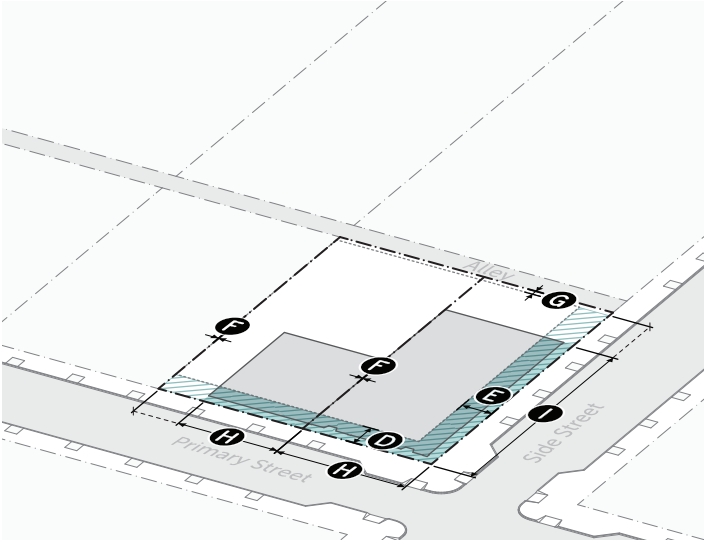
	Primary St.	Side St.
4. Windows	Sec. 2.6.11	
F Ground story (min)		
Residential	20%	20%
Nonresidential	40%	20%
G Upper story (min)	15%	15%
H Blank wall width (max)	15'	25'
5. Doors	Sec. 2.6.12	
I Street-facing entry spacing (max)	50'	75'

2.3.4. **MX-3** MIXED USE 3

A. Lot Standards



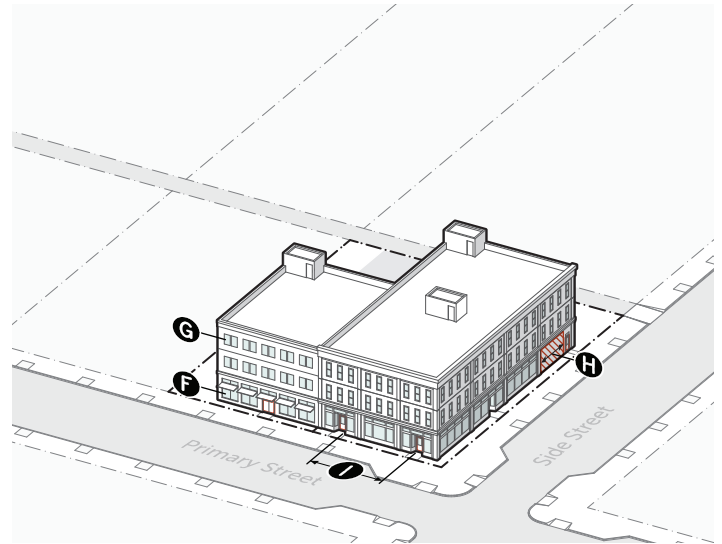
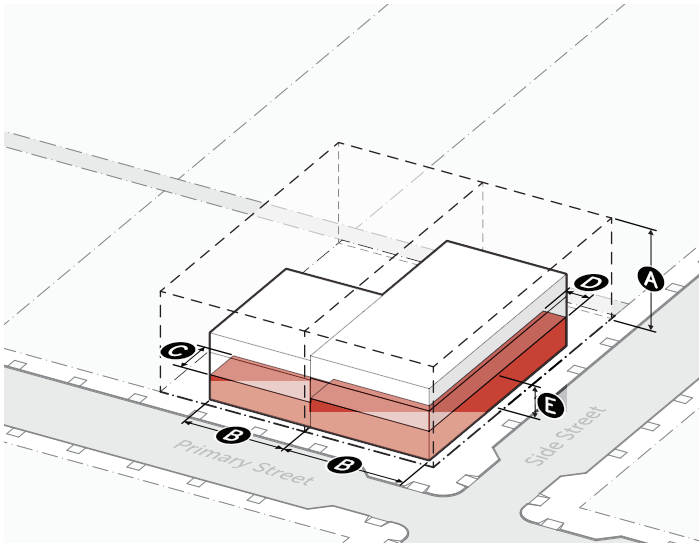
1. Lot Size	Sec. 2.6.2
A Lot width (min)	0'
2. Dwelling Units	Sec. 2.6.3
Dwelling units per building (max)	n/a
3. Coverage	Sec. 2.6.4
B Building coverage (max)	80%
C Amenity space (min)	15%



4. Building Setbacks	Sec. 2.6.5
D Primary street (min/max)	0'/15'
E Side street (min/max)	0'/15'
F Side (min)	0'
Rear (min)	0'
G Alley (min)	3'
5. Build-to	Sec. 2.6.6
H Primary street (min)	80%
I Side street (min)	40%
6. Parking Location	Sec. 2.6.7
Parking setback (min)	n/a
Parking between building & street	Not allowed

## MX-3

### B. Building Standards

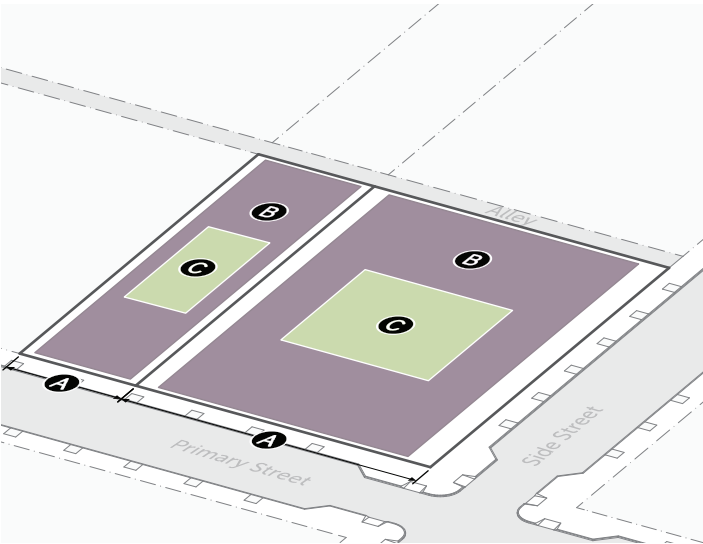


1. Massing	Sec. 2.6.8
A Building height (max)	3 stories/45'
B Building width (max)	175'
2. Active Depth	Sec. 2.6.9
C Primary street (min)	20'
D Side street (min)	9'
3. Ground Story	Sec. 2.6.10
E Ground story height (min)	
Residential	10'
Nonresidential	12'
Finished floor elevation (min/max)	-2'/4'

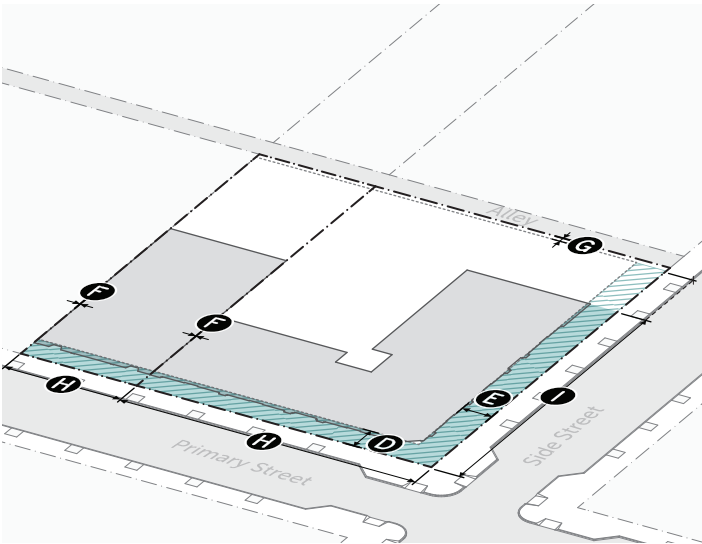
	Primary St.	Side St.
4. Windows	Sec. 2.6.11	
F Ground story (min)		
Residential	20%	20%
Nonresidential	50%	30%
G Upper story (min)	15%	15%
H Blank wall width (max)	15'	25'
5. Doors	Sec. 2.6.12	
I Street-facing entry spacing (max)	40'	60'

2.3.5. **MX-6** MIXED USE 6

A. Lot Standards



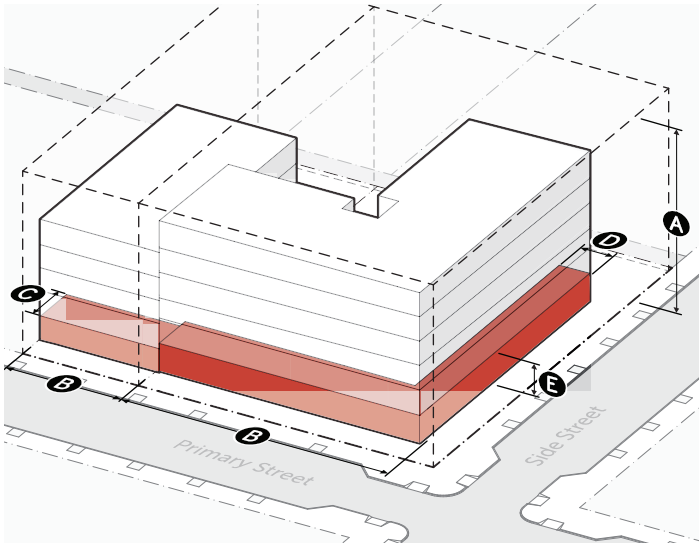
1. Lot Size	Sec. 2.6.2
A Lot width (min)	0'
2. Dwelling Units	Sec. 2.6.3
Dwelling units per building (max)	n/a
3. Coverage	Sec. 2.6.4
B Building coverage (max)	80%
C Amenity space (min)	15%



4. Building Setbacks	Sec. 2.6.5
D Primary street (min/max)	0'/15'
E Side street (min/max)	0'/15'
F Side (min)	0'
Rear (min)	0'
G Alley (min)	3'
5. Build-to	Sec. 2.6.6
H Primary street (min)	80%
I Side street (min)	40%
6. Parking Location	Sec. 2.6.7
Parking setback (min)	n/a
Parking between building & street	Not allowed

## MX-6

### B. Building Standards

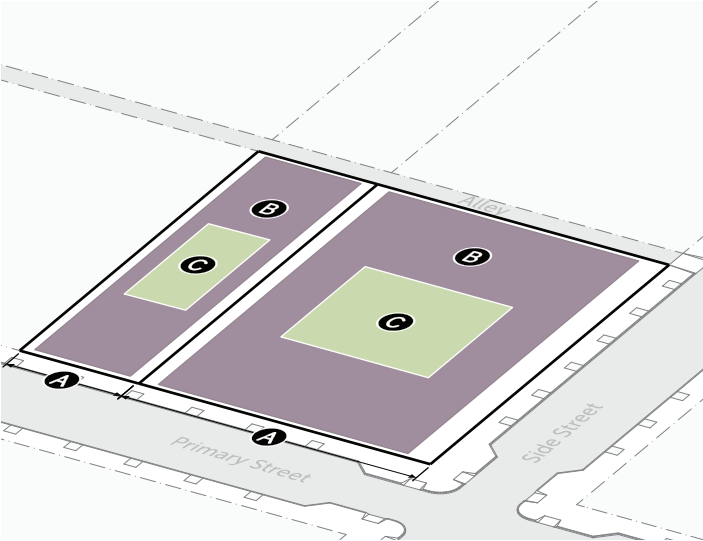


1. Massing	Sec. 2.6.8
A Building height (max)	6 stories/90'
B Building width (max)	200'
2. Active Depth	Sec. 2.6.9
C Primary street (min)	20'
D Side street (min)	9'
3. Ground Story	Sec. 2.6.10
E Ground story height (min)	
Residential	10'
Nonresidential	12'
Finished floor elevation (min/max)	-2'/4'

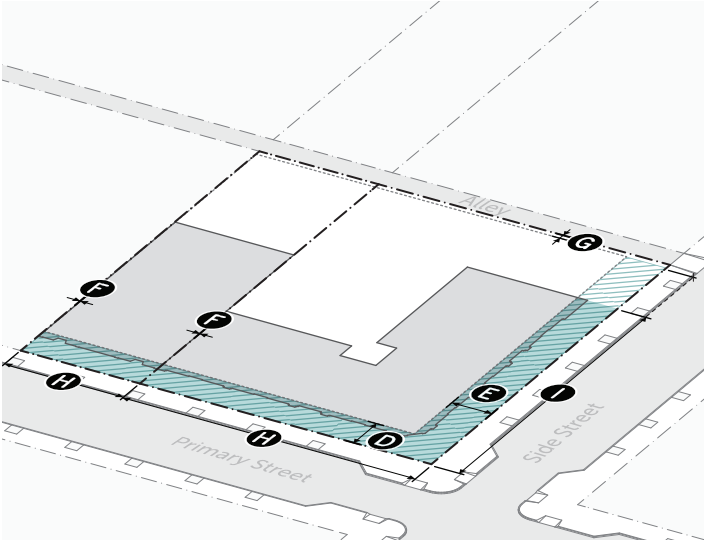
	Primary St.	Side St.
4. Windows	Sec. 2.6.11	
F Ground story (min)		
Residential	20%	20%
Nonresidential	50%	30%
G Upper story (min)	15%	15%
H Blank wall width (max)	15'	25'
5. Doors	Sec. 2.6.12	
I Street-facing entry spacing (max)	40'	60'

2.3.6. **MX-8** MIXED USE 8

A. Lot Standards



1. Lot Size	Sec. 2.6.2
A Lot width (min)	0'
2. Dwelling Units	Sec. 2.6.3
Dwelling units per building (max)	n/a
3. Coverage	Sec. 2.6.4
B Building coverage (max)	80%
C Amenity space (min)	15%

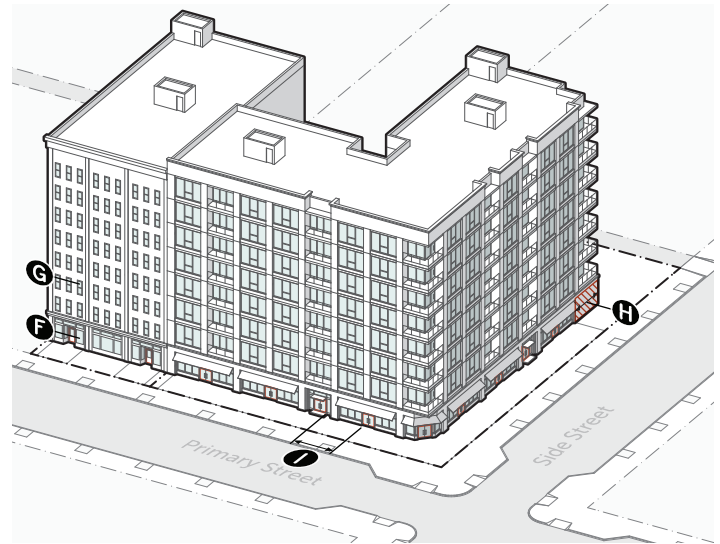
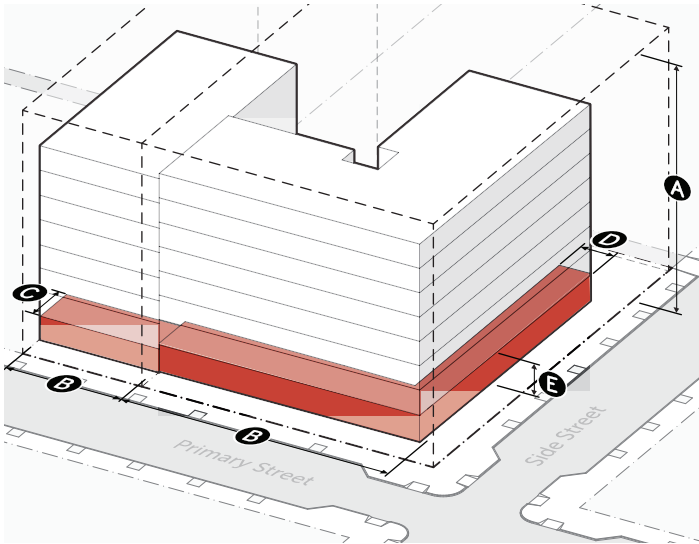


4. Building Setbacks	Sec. 2.6.5
D Primary street (min/max)	0'/20'
E Side street (min/max)	0'/20'
F Side (min)	0'
Rear (min)	0'
G Alley (min)	3'
5. Build-to	Sec. 2.6.6
H Primary street (min)	80%
I Side street (min)	40%
6. Parking Location	Sec. 2.6.7
Parking setback (min)	n/a
Parking between building & street	Not allowed



# MX-8

## B. Building Standards

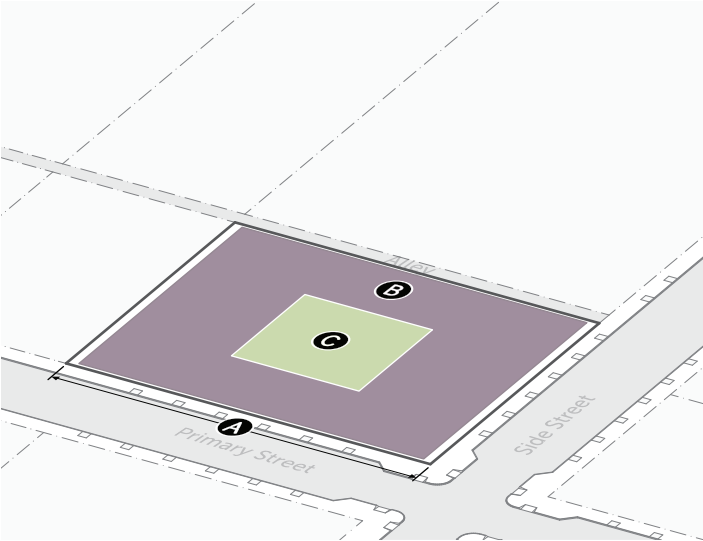


1. Massing	Sec. 2.6.8
A Building height (max)	8 stories/120'
B Building width (max)	225'
2. Active Depth	Sec. 2.6.9
C Primary street (min)	20'
D Side street (min)	9'
3. Ground Story	Sec. 2.6.10
E Ground story height (min)	
Residential	10'
Nonresidential	12'
Finished floor elevation (min/max)	-2'/4'

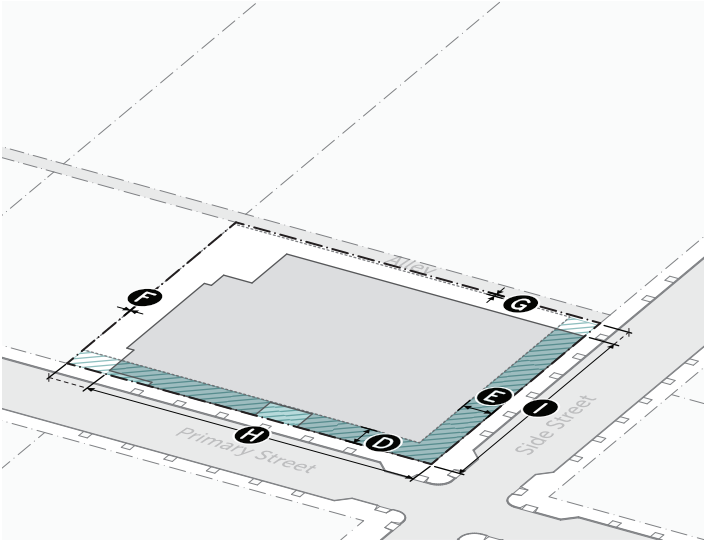
	Primary St.	Side St.
4. Windows	Sec. 2.6.11	
F Ground story (min)		
Residential	20%	20%
Nonresidential	50%	30%
G Upper story (min)	15%	15%
H Blank wall width (max)	15'	25'
5. Doors	Sec. 2.6.12	
I Street-facing entry spacing (max)	40'	60'

2.3.7. **MX-13** MIXED USE 13

A. Lot Standards



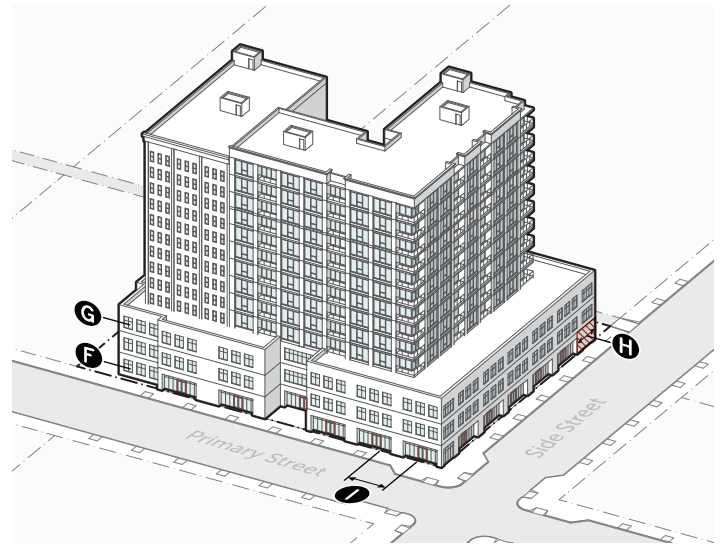
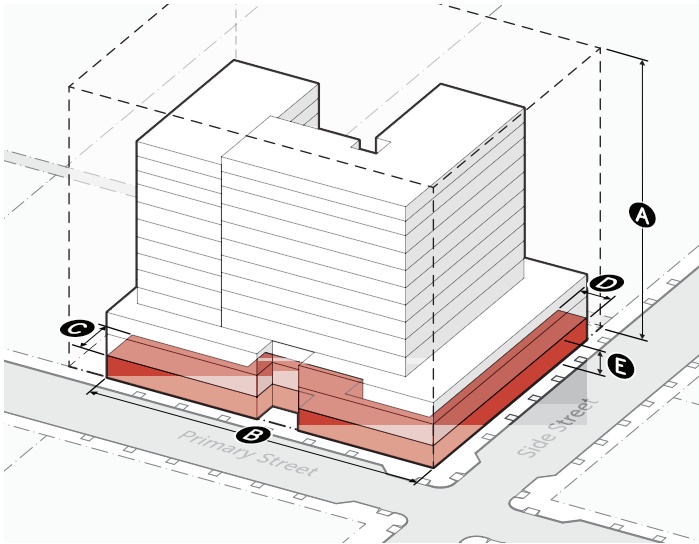
1. Lot Size	Sec. 2.6.2
A Lot width (min)	0'
2. Dwelling Units	Sec. 2.6.3
Dwelling units per building (max)	n/a
3. Coverage	Sec. 2.6.4
B Building coverage (max)	100%
C Amenity space (min)	15%



4. Building Setbacks	Sec. 2.6.5
D Primary street (min/max)	0'/20'
E Side street (min/max)	0'/20'
F Side (min)	0'
Rear (min)	0'
G Alley (min)	3'
5. Build-to	Sec. 2.6.6
H Primary street (min)	80%
I Side street (min)	60%
6. Parking Location	Sec. 2.6.7
Parking setback (min)	n/a
Parking between building & street	Not allowed

# MX-13

## B. Building Standards

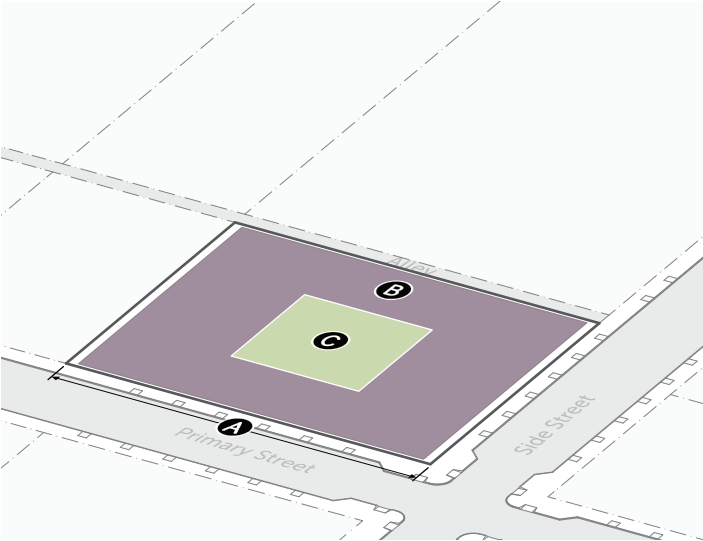


1. Massing	Sec. 2.6.8
A Building height (max)	13 stories/190'
B Building width (max)	250'
2. Active Depth	Sec. 2.6.9
C Primary street (min)	25'
D Side street (min)	15'
3. Ground Story	Sec. 2.6.10
E Ground story height (min)	
Residential	10'
Nonresidential	14'
Finished floor elevation (min/max)	-2'/4'

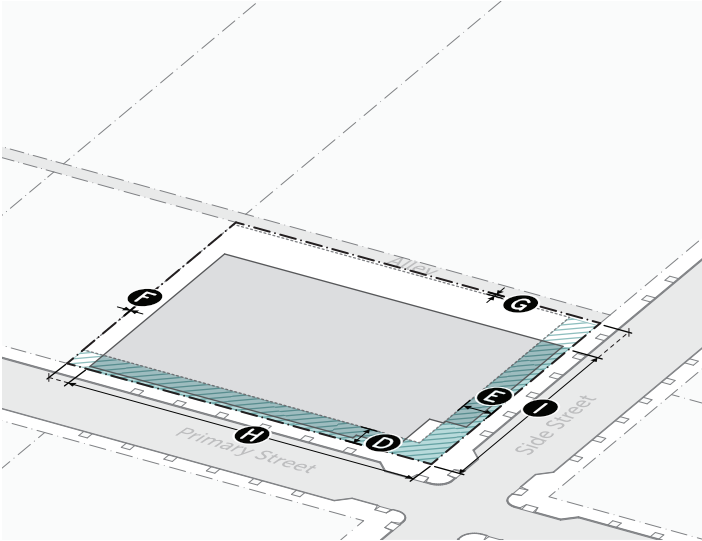
	Primary St.	Side St.
4. Windows	Sec. 2.6.11	
F Ground story (min)		
Residential	20%	20%
Nonresidential	50%	30%
G Upper story (min)	15%	15%
H Blank wall width (max)	10'	20'
5. Doors	Sec. 2.6.12	
I Street-facing entry spacing (max)	40'	60'

2.3.8. **MX-U** MIXED USE UNLIMITED

A. Lot Standards



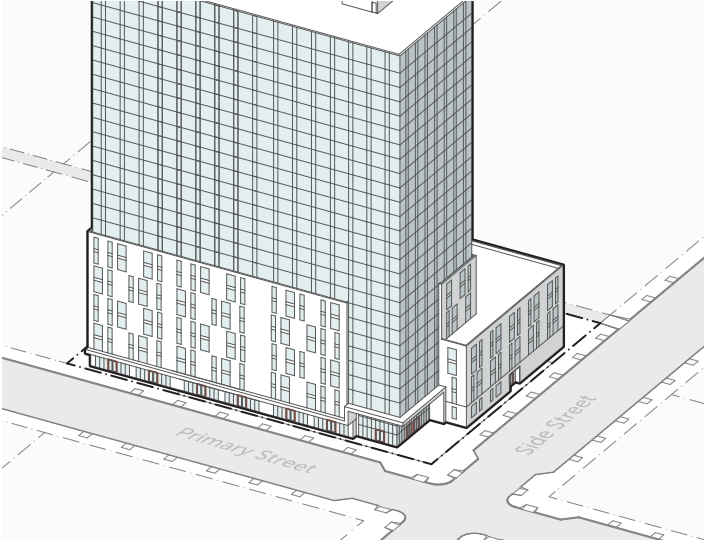
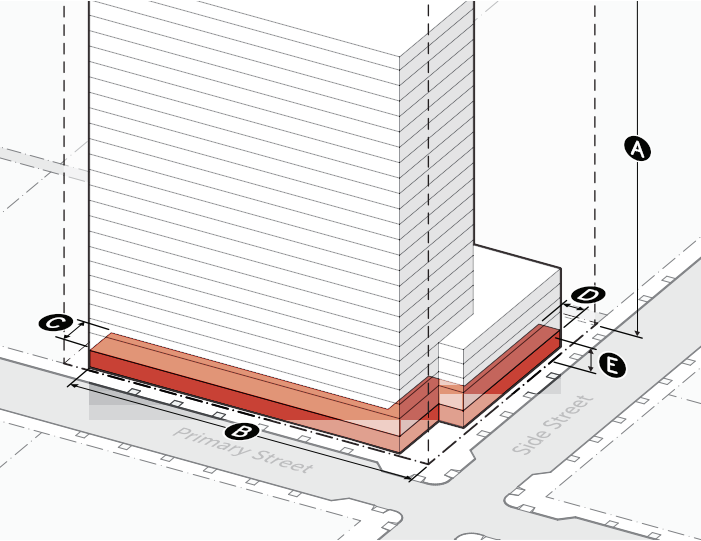
1. Lot Size	Sec. 2.6.2
A Lot width (min)	0'
2. Dwelling Units	Sec. 2.6.3
Dwelling units per building (max)	n/a
3. Coverage	Sec. 2.6.4
B Building coverage (max)	100%
C Amenity space (min)	15%



4. Building Setbacks	Sec. 2.6.5
D Primary street (min/max)	0'/20'
E Side street (min/max)	0'/20'
F Side (min)	0'
Rear (min)	0'
G Alley (min)	3'
5. Build-to	Sec. 2.6.6
H Primary street (min)	90%
I Side street (min)	60%
6. Parking Location	Sec. 2.6.7
Parking setback (min)	n/a
Parking between building & street	Not allowed

MX-U

B. Building Standards

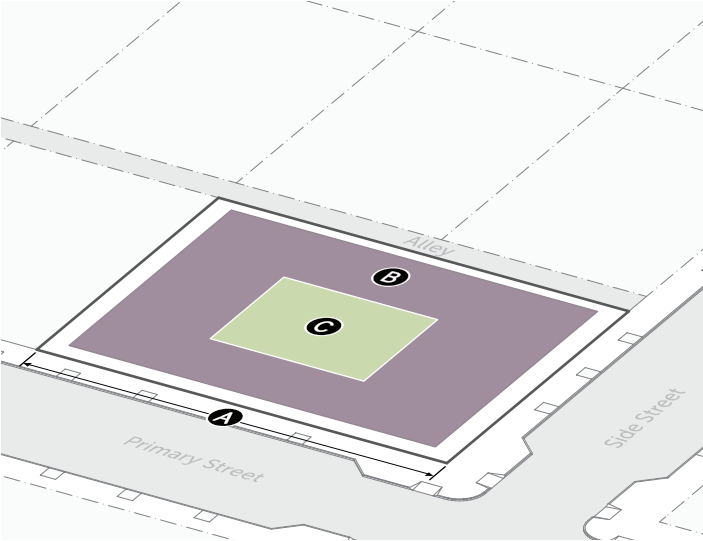


1. Massing	Sec. 2.6.8
A Building height (max)	Unlimited
B Building width (max)	Unlimited
2. Active Depth	Sec. 2.6.9
C Primary street (min)	25'
D Side street (min)	25'
3. Ground Story	Sec. 2.6.10
E Ground story height (min)	
Residential	10'
Nonresidential	14'
Finished floor elevation (min/max)	-2'/4'

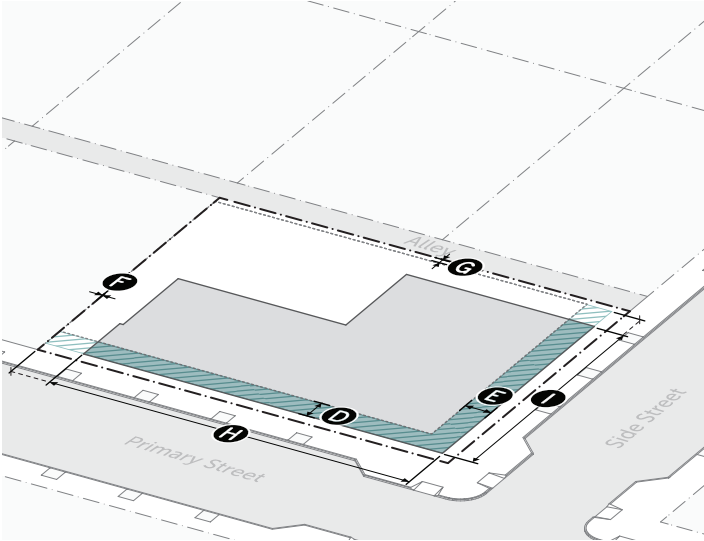
	Primary St.	Side St.
4. Windows	Sec. 2.6.11	
F Ground story (min)		
Residential	20%	20%
Nonresidential	50%	30%
G Upper story (min)	15%	15%
H Blank wall width (max)	10'	20'
5. Doors	Sec. 2.6.12	
I Street-facing entry spacing (max)	40'	40'

2.3.9. IX-6 INDUSTRIAL MIXED USE 6

A. Lot Standards



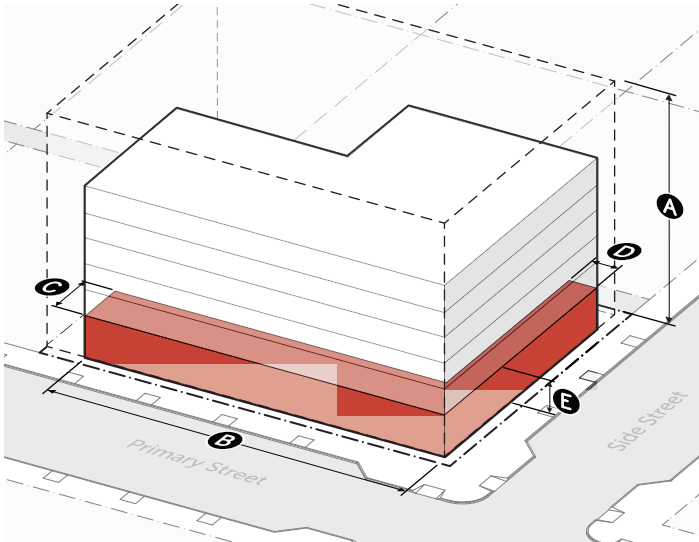
1. Lot Size	Sec. 2.6.2
A Lot width (min)	0'
2. Dwelling Units	Sec. 2.6.3
Dwelling units per building (max)	n/a
3. Coverage	Sec. 2.6.4
B Building coverage (max)	80%
C Amenity space (min)	15%



4. Building Setbacks	Sec. 2.6.5
D Primary street (min/max)	5'/15'
E Side street (min/max)	5'/15'
F Side (min)	0'
Rear (min)	0'
G Alley (min)	3'
5. Build-to	Sec. 2.6.6
H Primary street (min)	80%
I Side street (min)	40%
6. Parking Location	Sec. 2.6.7
Parking setback (min)	n/a
Parking between building & street	Not allowed

# IX-6

## B. Building Standards

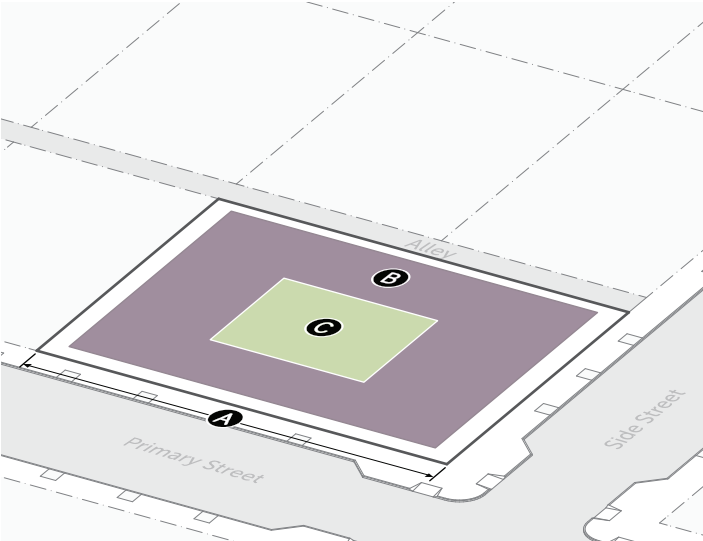


1. Massing	Sec. 2.6.8
A Building height (max)	6 stories/90'
B Building width (max)	225'
2. Active Depth	Sec. 2.6.9
C Primary street (min)	20'
D Side street (min)	9'
3. Ground Story	Sec. 2.6.10
E Ground story height (min)	
Residential	10'
Nonresidential	12'
Finished floor elevation (min/max)	-2'/4'

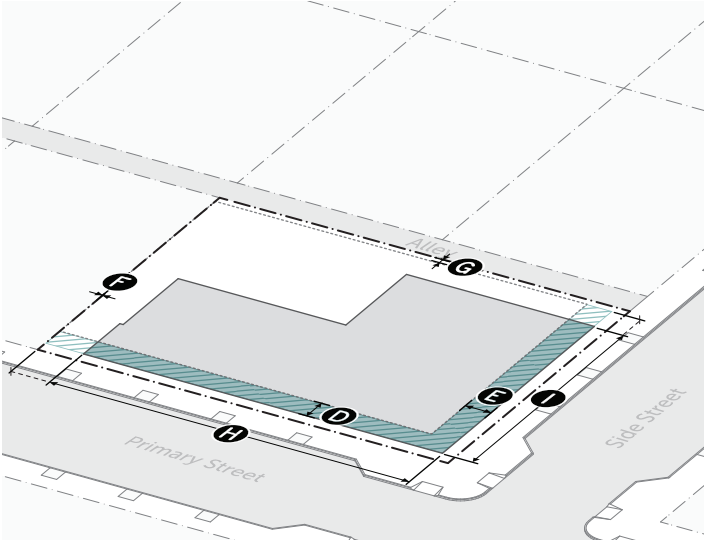
	Primary St.	Side St.
4. Windows	Sec. 2.6.11	
F Ground story (min)		
Residential	20%	20%
Nonresidential	50%	30%
G Upper story (min)	15%	15%
H Blank wall width (max)	20'	30'
5. Doors	Sec. 2.6.12	
I Street-facing entry spacing (max)	75'	100'

2.3.10. IX-8 INDUSTRIAL MIXED USE 8

A. Lot Standards



1. Lot Size	Sec. 2.6.2
A Lot width (min)	0'
2. Dwelling Units	Sec. 2.6.3
Dwelling units per building (max)	n/a
3. Coverage	Sec. 2.6.4
B Building coverage (max)	80%
C Amenity space (min)	15%

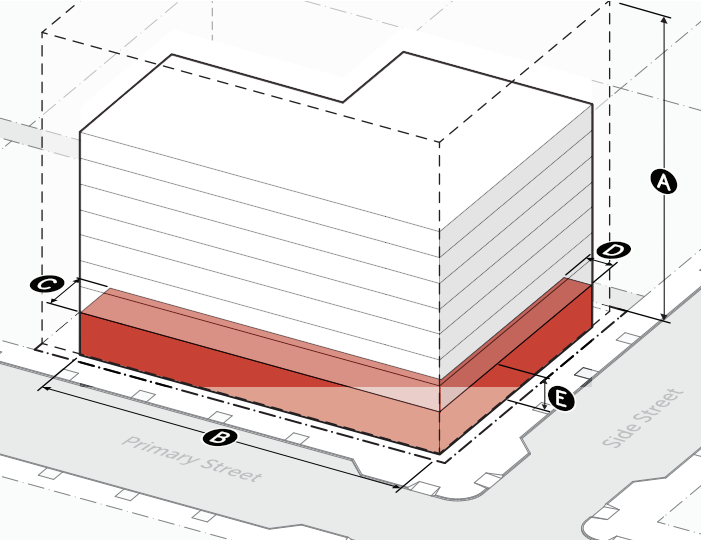


4. Building Setbacks	Sec. 2.6.5
D Primary street (min/max)	5'/15'
E Side street (min/max)	5'/15'
F Side (min)	0'
Rear (min)	0'
G Alley (min)	3'
5. Build-to	Sec. 2.6.6
H Primary street (min)	80%
I Side street (min)	40%
6. Parking Location	Sec. 2.6.7
Parking setback (min)	n/a
Parking between building & street	Not allowed



IX-8

B. Building Standards



1. Massing	Sec. 2.6.8
A Building height (max)	8 stories/120'
B Building width (max)	275'
2. Active Depth	Sec. 2.6.9
C Primary street (min)	20'
D Side street (min)	9'
3. Ground Story	Sec. 2.6.10
E Ground story height (min)	
Residential	10'
Nonresidential	12'
Finished floor elevation (min/max)	-2'/4'



	Primary St.	Side St.
4. Windows	Sec. 2.6.11	
F Ground story (min)		
Residential	20%	20%
Nonresidential	50%	30%
G Upper story (min)	15%	15%
H Blank wall width (max)	20'	30'
5. Doors	Sec. 2.6.12	
I Street-facing entry spacing (max)	75'	100'

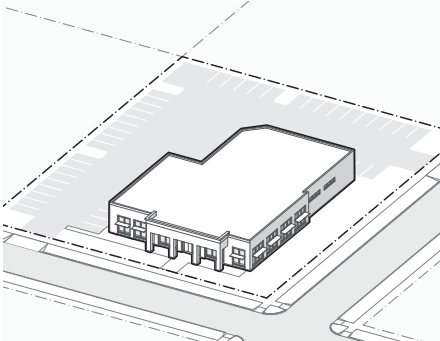


## SEC. 2.4. **COMMERCIAL & INDUSTRIAL DISTRICTS**

### 2.4.1. Summary of Districts

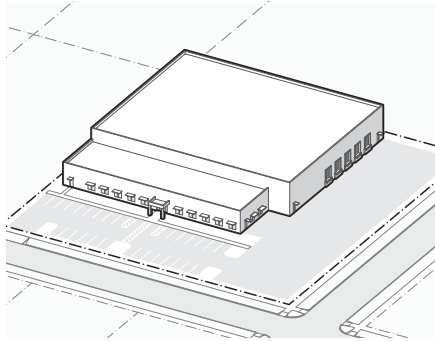
#### **A. Commercial General (CG)**

Allows up to a 4-story auto-oriented commercial building  
Also allows rowhouses, stacked townhouses, and apartments.



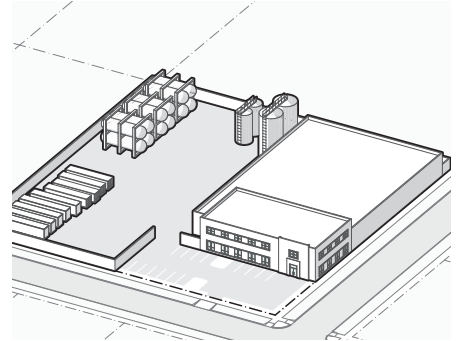
#### **B. Industrial Light (IL)**

Allows a range of low-impact industrial activity - the majority of activity is conducted indoors with limited accessory outdoor storage.



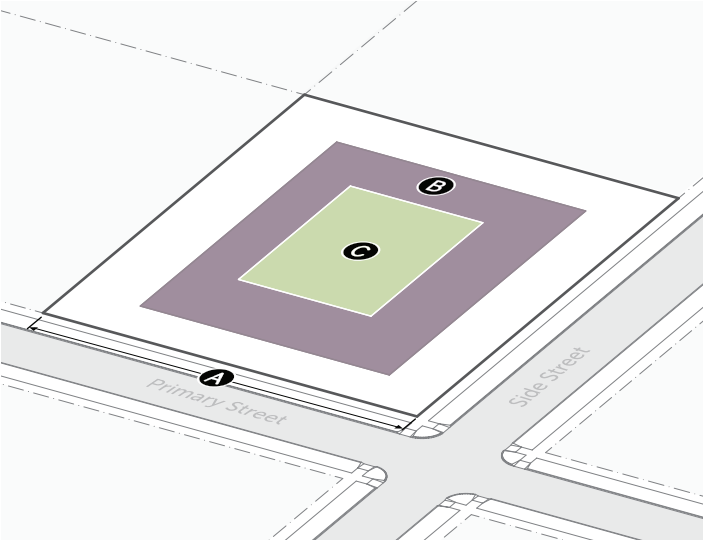
#### **C. Industrial Heavy (IH)**

Allows a range of larger footprint high-impact industrial activity.

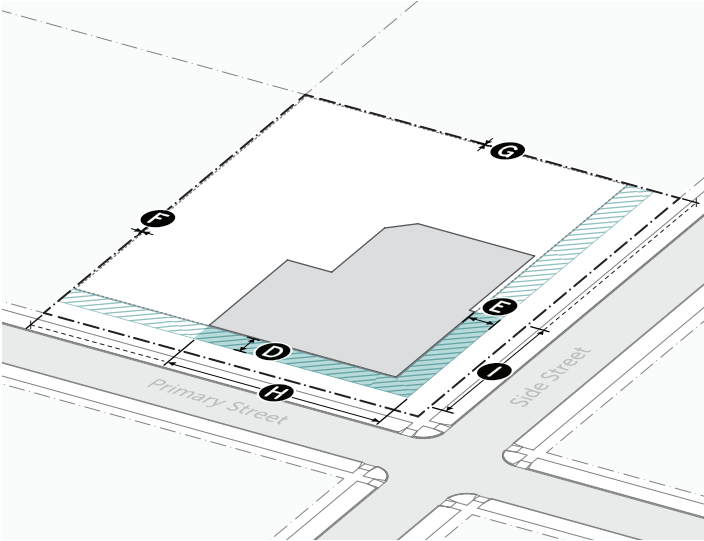


2.4.2. CG COMMERCIAL GENERAL

A. Lot Standards

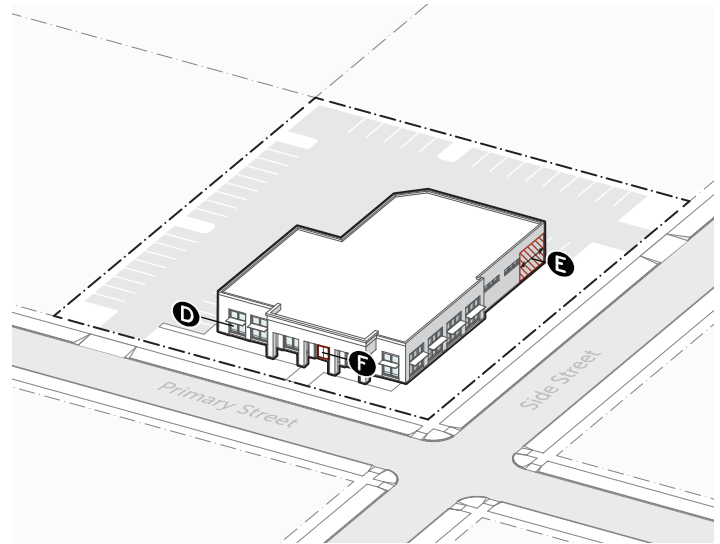
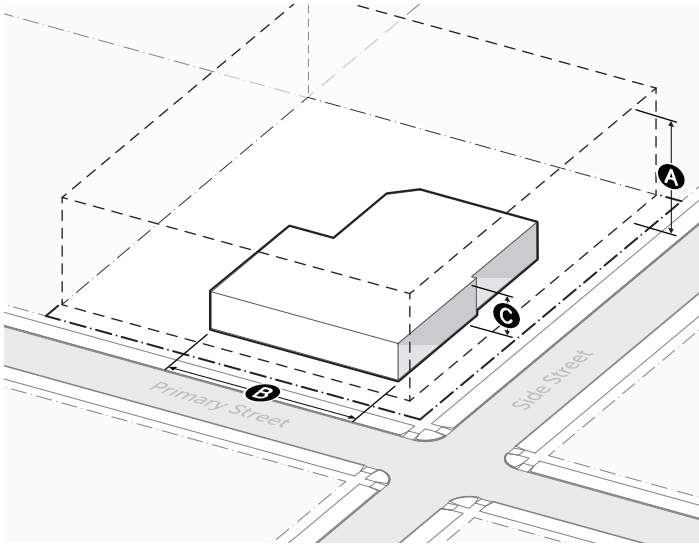


1. Lot Size	Sec. 2.6.2
A Lot width (min)	0'
2. Dwelling Units	Sec. 2.6.3
Dwelling units per building (max)	n/a
3. Coverage	Sec. 2.6.4
B Building coverage (max)	50%
C Amenity space (min)	15%



4. Building Setbacks	Sec. 2.6.5
D Primary street (min)	15'/30'
E Side street (min)	15'/30'
F Side (min)	0'
G Rear (min)	0'
Alley (min)	3'
5. Build-to	Sec. 2.6.6
H Primary street (min)	40%
I Side street (min)	20%
6. Parking Location	Sec. 2.6.7
Parking setback (min)	n/a
Parking between building & street	Not allowed

## B. Building Standards

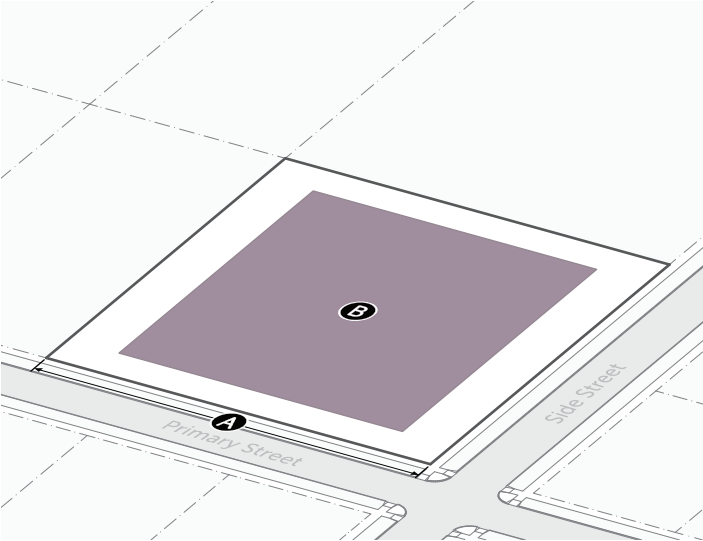


1. Massing	Sec. 2.6.8
A Building height (max)	60'
B Building width (max)	250'
2. Active Depth	Sec. 2.6.9
Primary street (min)	n/a
Side street (min)	n/a
3. Ground Story	Sec. 2.6.10
C Ground story height (min)	12'
Finished floor elevation (min/max)	n/a

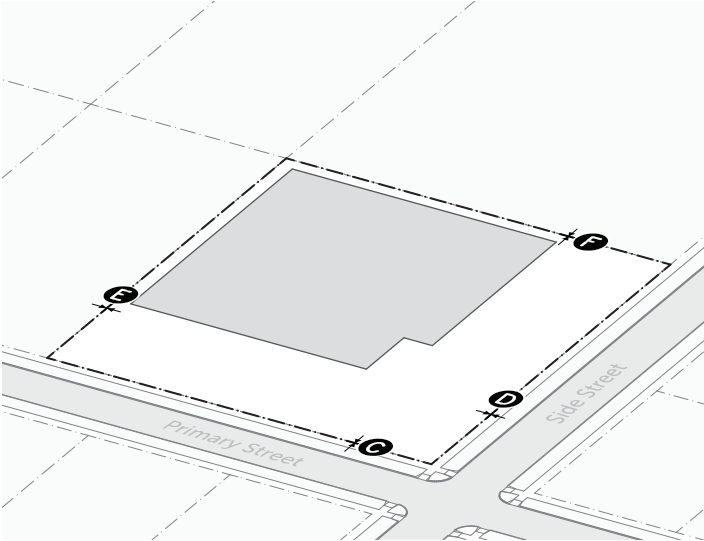
	Primary St.	Side St.
4. Windows	Sec. 2.6.11	
D Ground story (min)	50%	n/a
Upper story (min)	n/a	n/a
Blank wall width (max)	n/a	n/a
5. Doors	Sec. 2.6.12	
E Street-facing entry spacing (max)	100'	n/a

2.4.3. IL INDUSTRIAL LIGHT

A. Lot Standards

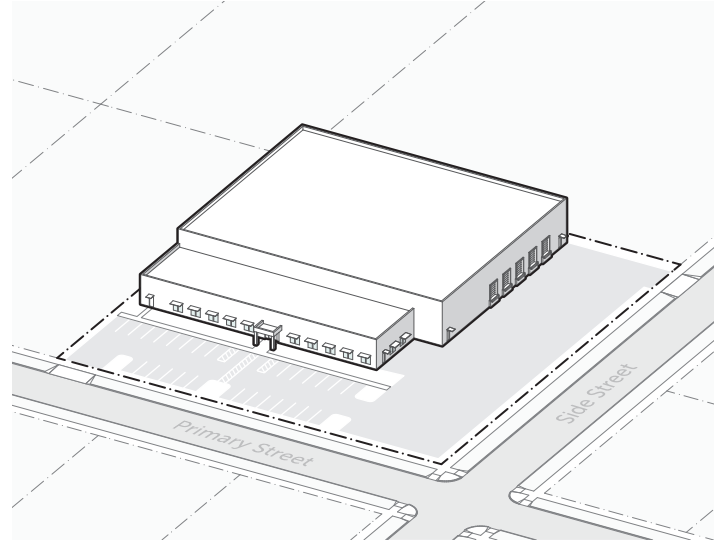
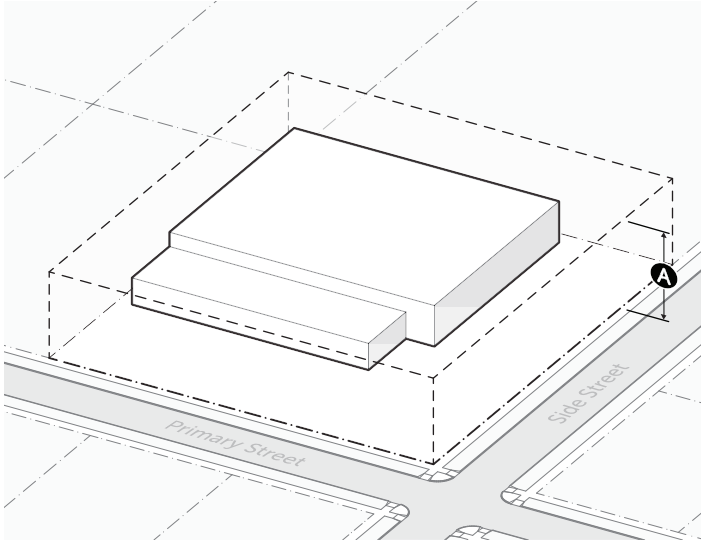


1. Lot Size	Sec. 2.6.2
A Lot width (min)	0'
2. Dwelling Units	Sec. 2.6.3
Dwelling units per building (max)	n/a
3. Coverage	Sec. 2.6.4
B Building coverage (max)	60%
Amenity space (min)	n/a



4. Building Setbacks	Sec. 2.6.5
C Primary street (min)	0'
D Side street (min)	0'
E Side (min)	0'
F Rear (min)	0'
Alley (min)	3'
5. Build-to	Sec. 2.6.6
Primary street (min)	n/a
Side street (min)	n/a
6. Parking Location	Sec. 2.6.7
Parking setback (min)	n/a
Parking between building & street	Allowed

## B. Building Standards

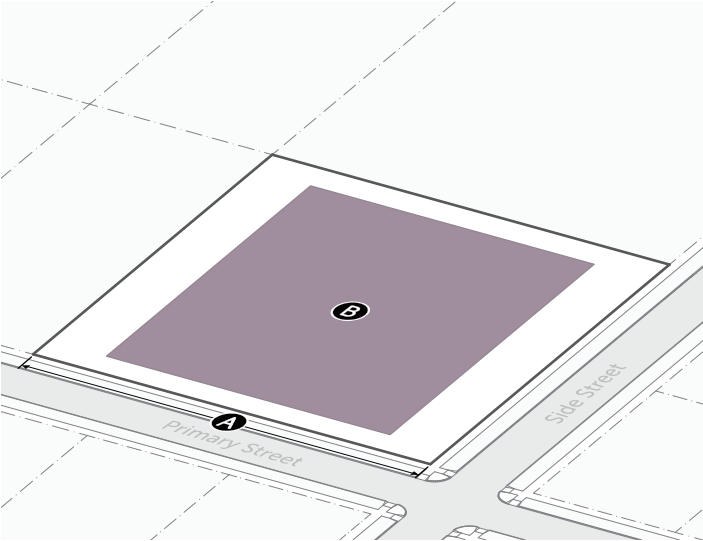


1. Massing	Sec. 2.6.8
Ⓐ Building height (max)	60'
Building width (max)	n/a
2. Active Depth	Sec. 2.6.9
Primary street (min)	n/a
Side street (min)	n/a
3. Ground Story	Sec. 2.6.10
Ground story height (min)	n/a
Finished floor elevation (min/max)	n/a

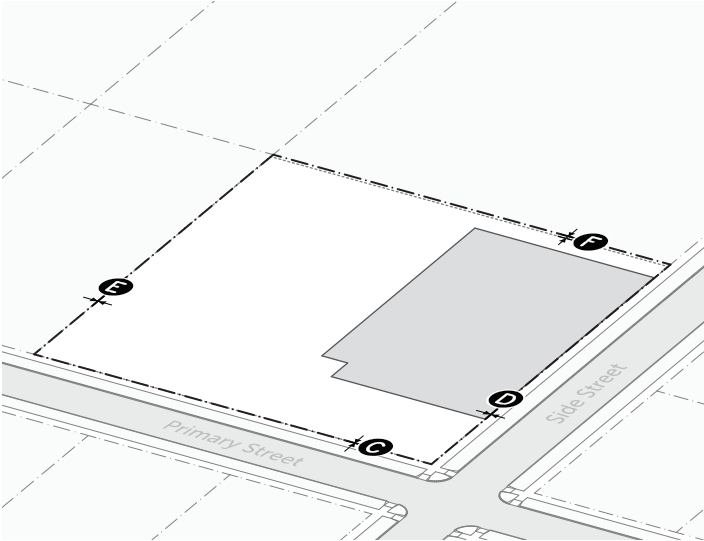
	Primary St.	Side St.
4. Windows	Sec. 2.6.11	
Ground story (min)	n/a	n/a
Upper story (min)	n/a	n/a
Blank wall width (max)	n/a	n/a
5. Doors	Sec. 2.6.12	
Street-facing entry spacing (max)	n/a	n/a

2.4.4. **IH** INDUSTRIAL HEAVY

A. Lot Standards



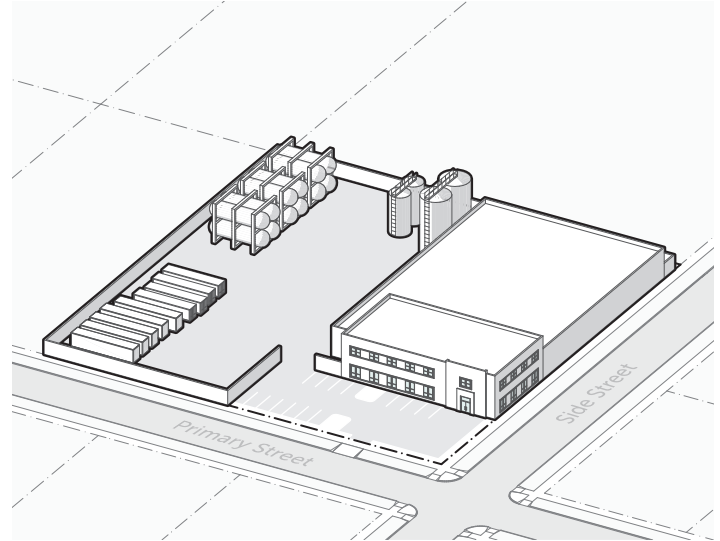
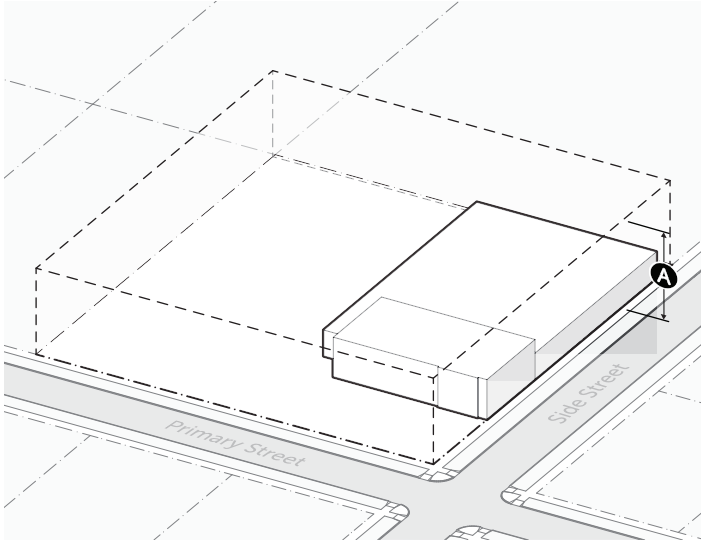
1. Lot Size	Sec. 2.6.2
A Lot width (min)	0'
2. Dwelling Units	Sec. 2.6.3
Dwelling units per building (max)	n/a
3. Coverage	Sec. 2.6.4
B Building coverage (max)	60%
Amenity space (min)	n/a



4. Building Setbacks	Sec. 2.6.5
C Primary street (min)	0'
D Side street (min)	0'
E Side (min)	0'
F Rear (min)	0'
Alley (min)	3'
5. Build-to	Sec. 2.6.6
Primary street (min)	n/a
Side street (min)	n/a
6. Parking Location	Sec. 2.6.7
Parking setback (min)	n/a
Parking between building & street	Allowed



## B. Building Standards



1. Massing	Sec. 2.6.8
Ⓐ Building height (max)	60'
Building width (max)	n/a
2. Active Depth	Sec. 2.6.9
Primary street (min)	n/a
Side street (min)	n/a
3. Ground Story	Sec. 2.6.10
Ground story height (min)	n/a
Finished floor elevation (min/max)	n/a

	Primary St.	Side St.
4. Windows	Sec. 2.6.11	
Ground story (min)	n/a	n/a
Upper story (min)	n/a	n/a
Blank wall width (max)	n/a	n/a
5. Doors	Sec. 2.6.12	
Street-facing entry spacing (max)	n/a	n/a



## SEC. 2.5. **INSTITUTIONAL & OPEN SPACE DISTRICTS**

### 2.5.1. **Summary of Districts**

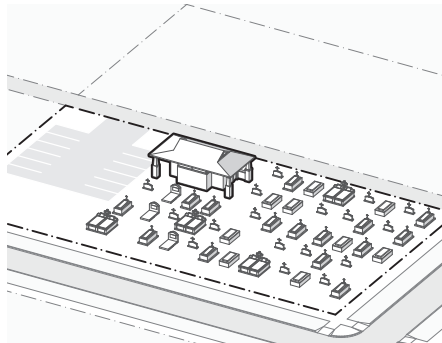
#### **A. Institutional (INS)**

Allows for a range of larger public, civic & institutional uses that do not readily assimilate into other zoning districts such as schools, places of worship, hospitals, museums, and libraries.



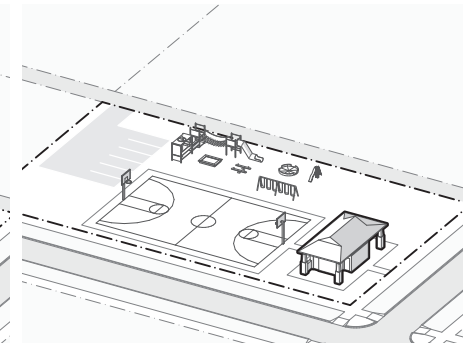
#### **B. Cemetery (CEM)**

Open space used to bury remains and memorialize the deceased that could include chapels and mausoleums.



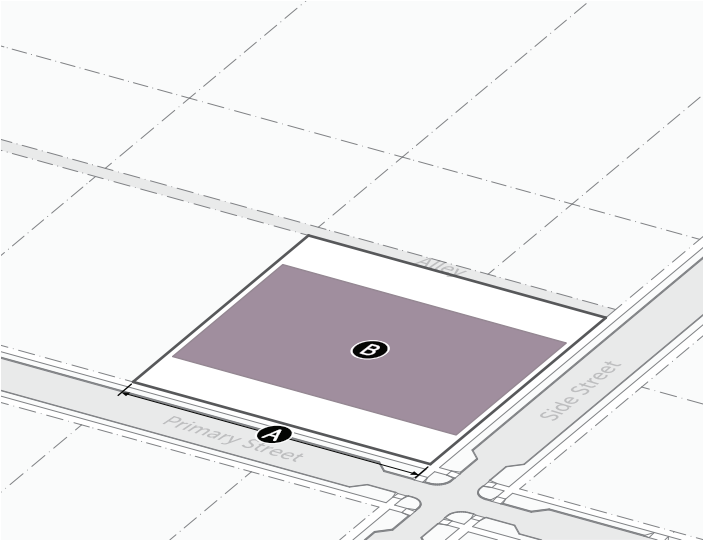
#### **C. Open Space (OS)**

Publicly-owned open space that serves the passive and active recreational needs of the community, includes parks, playgrounds, sports fields, dog parks, trails, and conservation areas.

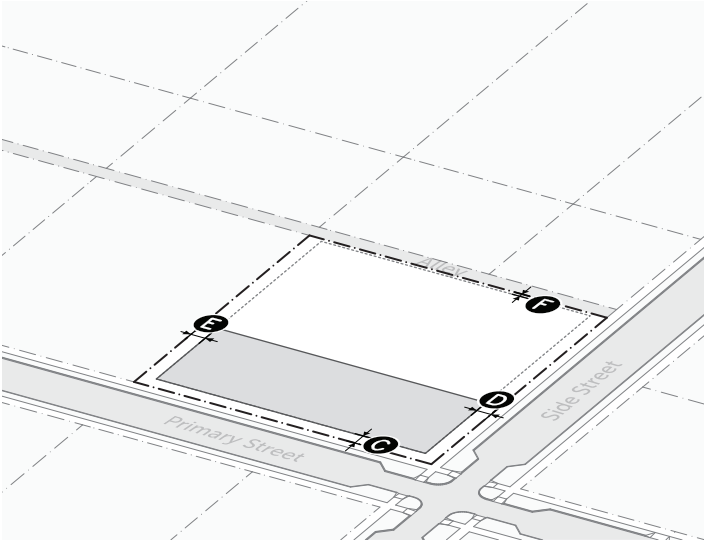


2.5.2. **INS** INSTITUTIONAL

A. Lot Standards

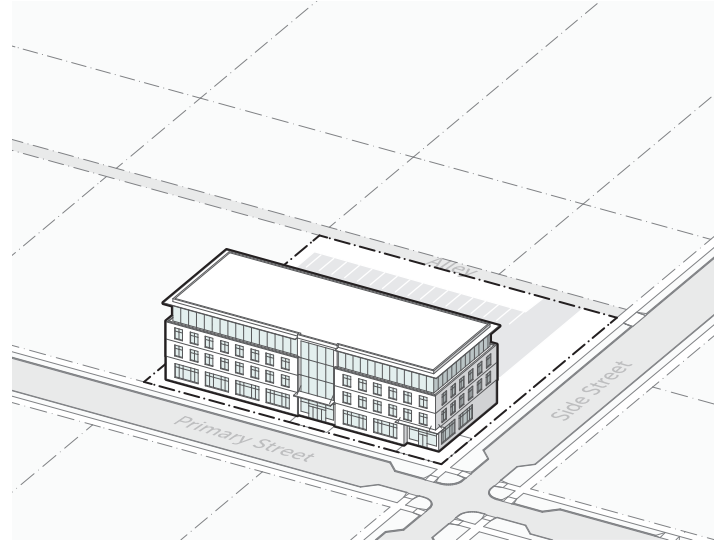
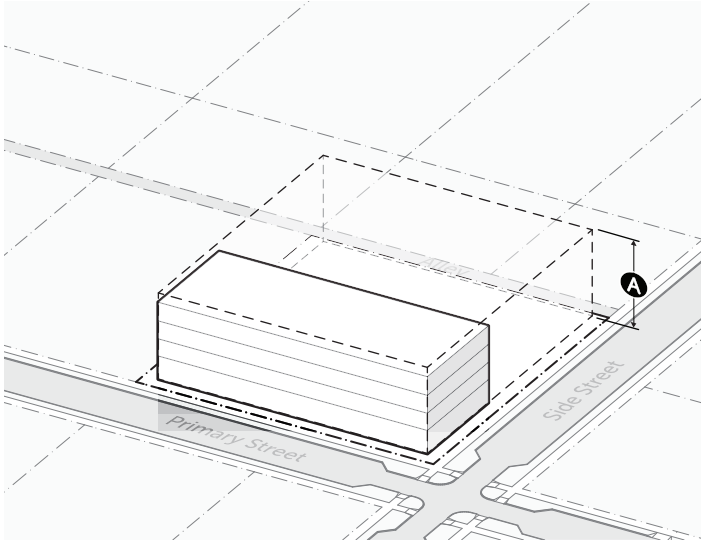


1. Lot Size	Sec. 2.6.2
A Lot width (min)	0'
2. Dwelling Units	Sec. 2.6.3
Dwelling units per building (max)	n/a
3. Coverage	Sec. 2.6.4
B Building coverage (max)	60%
Amenity space (min)	n/a



4. Building Setbacks	Sec. 2.6.5
C Primary street (min)	10'
D Side street (min)	10'
E Side (min)	10'
Rear (min)	10'
F Alley (min)	3'
5. Build-to	Sec. 2.6.6
Primary street (min)	n/a
Side street (min)	n/a
6. Parking Location	Sec. 2.6.7
Parking setback (min)	n/a
Parking between building & street	Allowed

## B. Building Standards

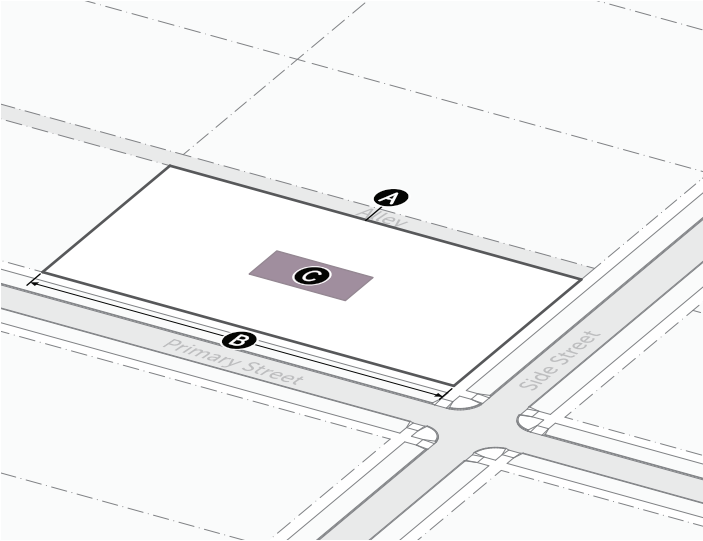


1. Massing	Sec. 2.6.8
Ⓐ Building height (max)	Height of abutting district
Building width (max)	n/a
2. Active Depth	Sec. 2.6.9
Primary street (min)	n/a
Side street (min)	n/a
3. Ground Story	Sec. 2.6.10
Ground story height (min)	n/a
Finished floor elevation (min/max)	n/a

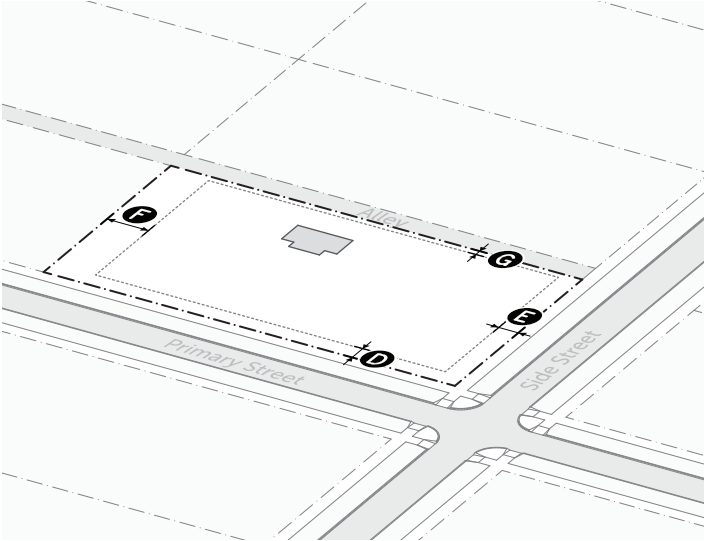
	Primary St.	Side St.
4. Windows	Sec. 2.6.11	
Ground story (min)	n/a	n/a
Upper story (min)	n/a	n/a
Blank wall width (max)	n/a	n/a
5. Doors	Sec. 2.6.12	
Street-facing entry spacing (max)	n/a	n/a

2.5.3. **CEM** CEMETERY

A. Lot Standards

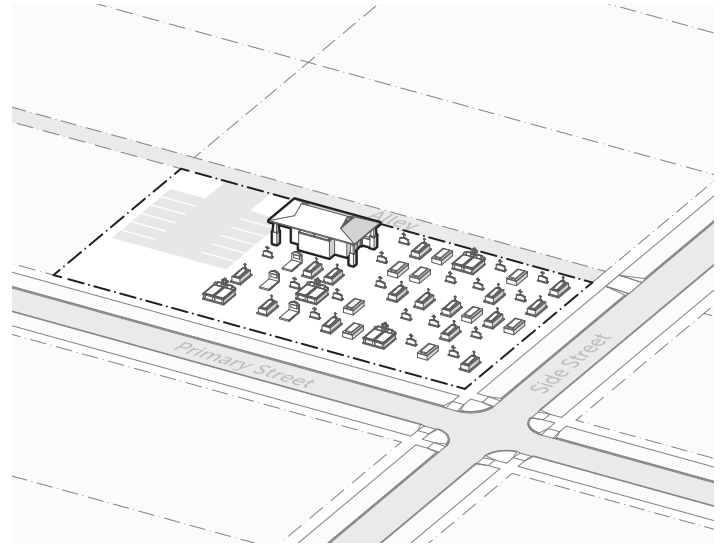
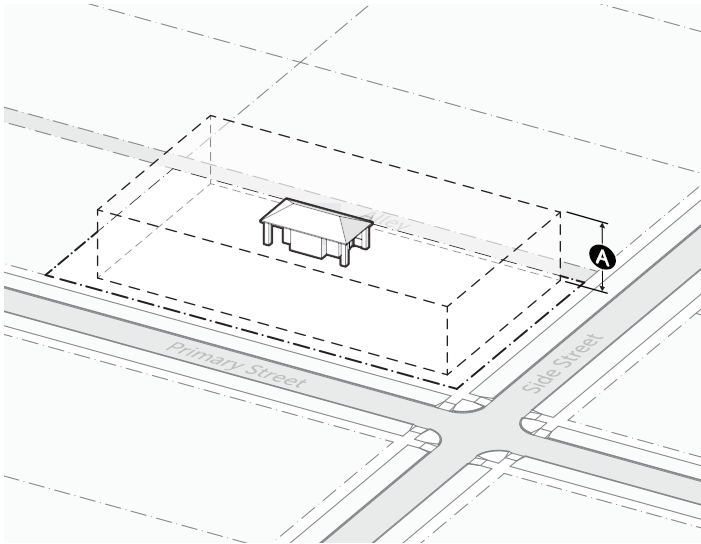


1. Lot Size	Sec. 2.6.2
A Lot area (min)	20,000 SF
B Lot width (min)	100'
2. Dwelling Units	Sec. 2.6.3
Dwelling units per building (max)	n/a
3. Coverage	Sec. 2.6.4
C Building coverage (max)	5%
Amenity space (min)	n/a



4. Building Setbacks	Sec. 2.6.5
D Primary street (min)	10'
E Side street (min)	10'
F Side (min)	10'
Rear (min)	10'
G Alley (min)	3'
5. Build-to	Sec. 2.6.6
Primary street (min)	n/a
Side street (min)	n/a
6. Parking Location	Sec. 2.6.7
Parking setback (min)	n/a
Parking between building & street	Allowed

## B. Building Standards

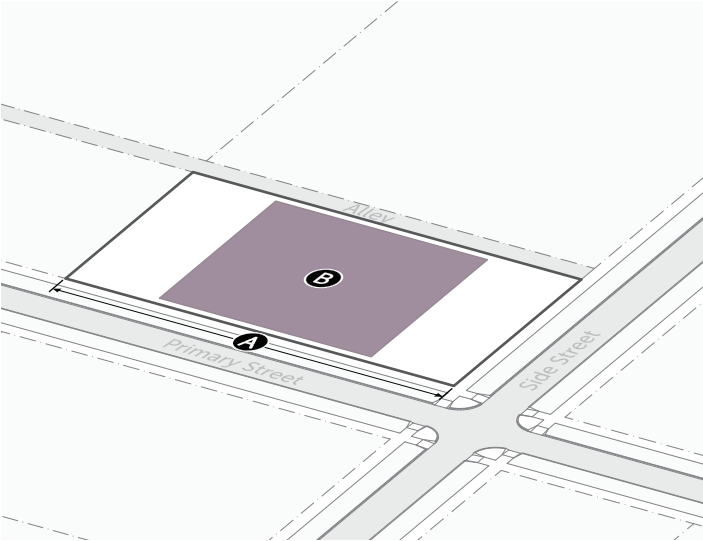


1. Massing	Sec. 2.6.8
A Building height (max)	35'
Building width (max)	n/a
2. Active Depth	Sec. 2.6.9
Primary street (min)	n/a
Side street (min)	n/a
3. Ground Story	Sec. 2.6.10
Ground story height (min)	n/a
Finished floor elevation (min/max)	n/a

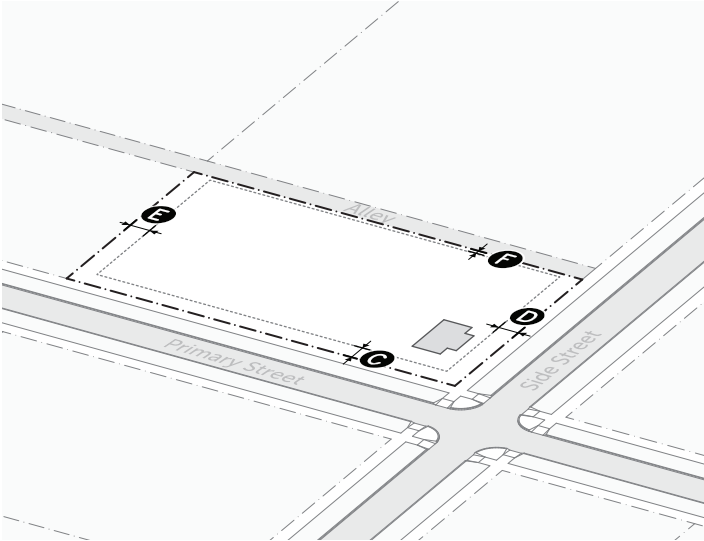
	Primary St.	Side St.
4. Windows	Sec. 2.6.11	
Ground story (min)	n/a	n/a
Upper story (min)	n/a	n/a
Blank wall width (max)	n/a	n/a
5. Doors	Sec. 2.6.12	
Street-facing entry spacing (max)	n/a	n/a

2.5.4. OS OPEN SPACE

A. Lot Standards



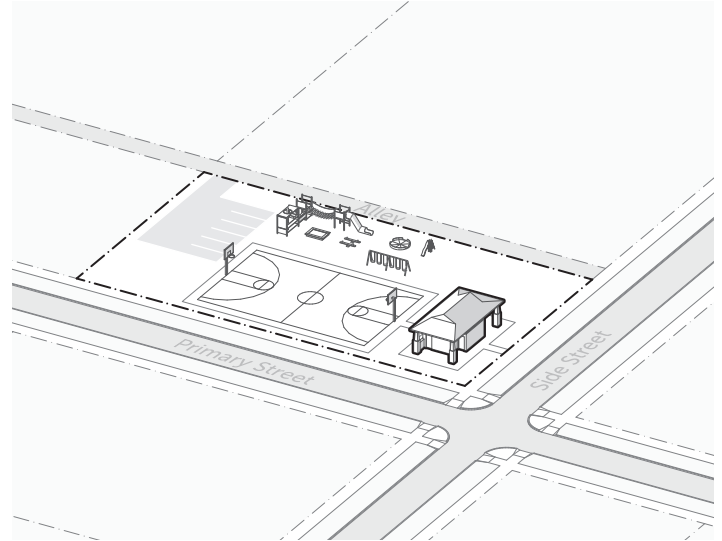
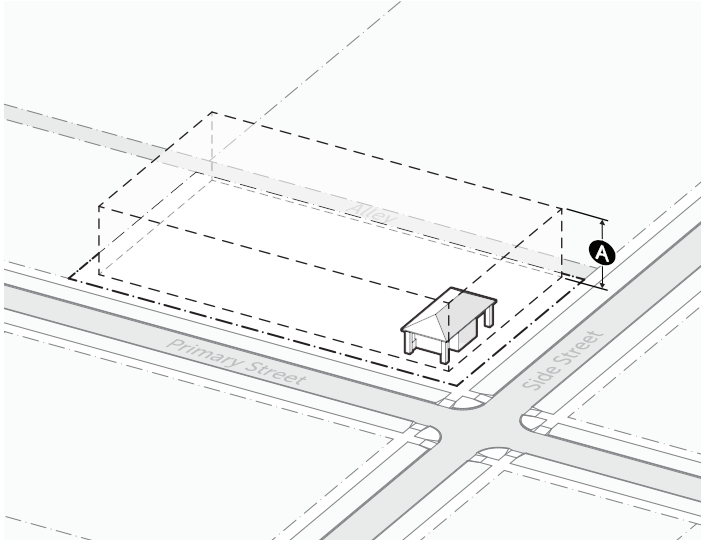
1. Lot Size	Sec. 2.6.2
A Lot width (min)	0'
2. Dwelling Units	Sec. 2.6.3
Dwelling units per building (max)	n/a
3. Coverage	Sec. 2.6.4
B Building coverage (max)	50%
Amenity space (min)	n/a



4. Building Setbacks	Sec. 2.6.5
C Primary street (min)	10'
D Side street (min)	10'
E Side (min)	10'
Rear (min)	10'
F Alley (min)	3'
5. Build-to	Sec. 2.6.6
Primary street (min)	n/a
Side street (min)	n/a
6. Parking Location	Sec. 2.6.7
Parking setback (min)	n/a
Parking between building & street	Allowed



## B. Building Standards



<b>1. Massing</b>	<i>Sec. 2.6.8</i>
Ⓐ Building height (max)	35'
Building width (max)	n/a
<b>2. Active Depth</b>	<i>Sec. 2.6.9</i>
Primary street (min)	n/a
Side street (min)	n/a
<b>3. Ground Story</b>	<i>Sec. 2.6.10</i>
Ground story height (min)	n/a
Finished floor elevation (min/max)	n/a

	<b>Primary St.</b>	<b>Side St.</b>
<b>4. Windows</b>	<i>Sec. 2.6.11</i>	
Ground story (min)	n/a	n/a
Upper story (min)	n/a	n/a
Blank wall width (max)	n/a	n/a
<b>5. Doors</b>	<i>Sec. 2.6.12</i>	
Street-facing entry spacing (max)	n/a	n/a

## SEC. 2.6. **RULES OF INTERPRETATION**

### 2.6.1. **General Terms and Designations**

#### **A. Intent**

To provide a set of general terms and designations, including definitions and standards, for terminology primarily used in this Article. Definitions and standards for terms used more broadly throughout the Code are found in *Article 6. Definitions*.

#### **B. Street Designation**

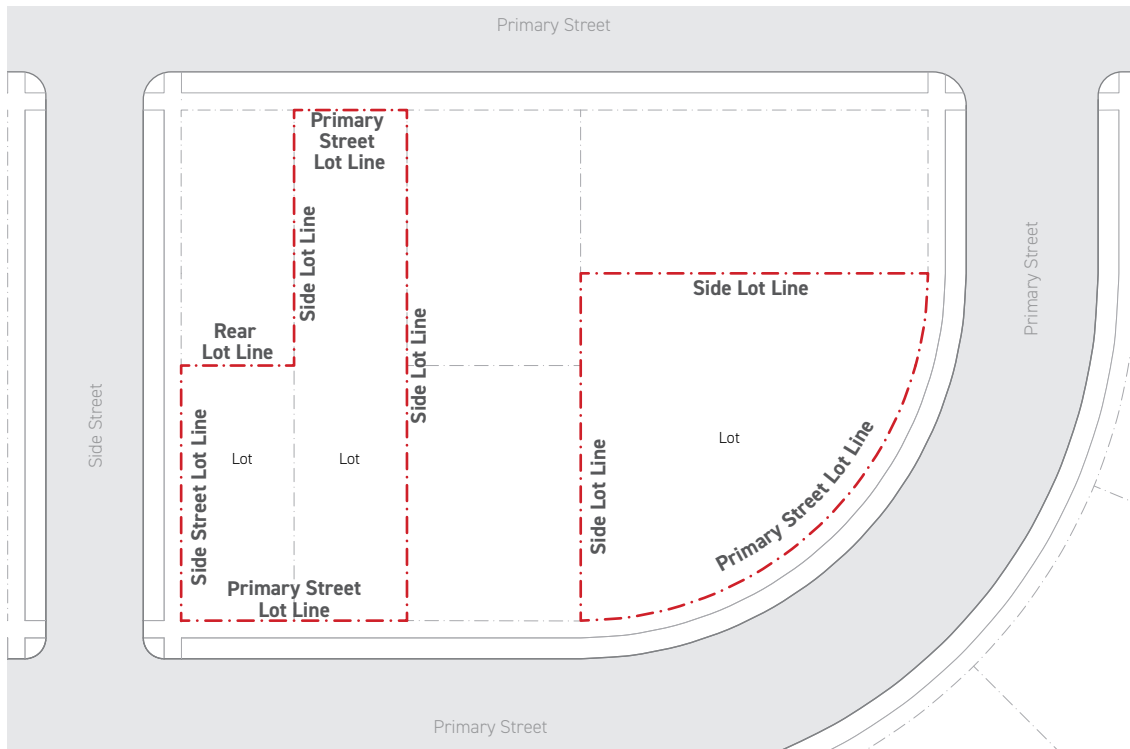
##### **1. Primary and Side Street Designations**

- a. All streets abutting a lot must be designated as either a primary street or side street.
- b. When a lot abuts only one street, the street is considered a primary street.
- c. A lot abutting multiple streets must designate at least one as a primary street.
- d. A lot may abut more than one primary street.
- e. For lots that abut multiple streets, the Zoning Administrator will determine primary streets using the following criteria listed from most important to less important:
  - i. The street is a major mixed-use street or major residential street per Richmond 300;
  - ii. The street with the highest classification per the most current version of VDOT's Functional Classification Map;
  - iii. The established orientation of the block;
  - iv. The street abutting the longest face of the block; and
  - v. The street parallel to an alley within the block.
- f. Any street not designated as a primary street is a side street.

#### **C. Lot Line Designation**

##### **1. General**

- a. Lot lines are designated for lots only, lot lines are not designated for sublots.
- b. Each lot line must have one of the following designations and no lot line may have more than one of the following designations:
  - i. Primary street lot line;
  - ii. Side street lot line;
  - iii. Alley lot line;
  - iv. Rear lot line; or
  - v. Side lot line.



- c. Primary street lot line and side street lot line designations apply to public and private streets. Alley lot line designation applies to public and private alleys.
- d. In addition to any other designation, lot lines may also serve as one of the following categories:
  - i. Street lot line; or
  - ii. Common lot line.

## 2. Primary Street Lot Line

*Any lot line that abuts a primary street.*

- a. Each lot must have at least one primary street lot line. A lot may have more than one primary street lot line.
- b. A lot line abutting a park, open space, river, trail, or pedestrian path may serve as a primary street lot line.
- c. Once designated for a lot, a primary street lot line cannot be changed (e.g., a primary street lot line cannot, for the purposes of subsequent development, be re-designated as a side street lot line) unless all standards of the applicable zoning district are met based on the proposed change in street lot line designation.

## 3. Side Street Lot Line

*Any lot line that abuts a side street. Any street lot line that is not a primary street lot line is considered a side street lot line.*

#### **4. Alley Lot Line**

*Any lot line that abuts an alley. Even when a lot line qualifies as a rear lot line or side lot line, all lot lines that abut an alley are considered an alley lot line.*

#### **5. Rear Lot Line**

*Any lot line that does not abut a street or alley and is opposite and most distant from a primary street lot line.*

- a. A lot may have no more than one rear lot line.
- b. In the case of a lot that fronts two streets on opposite sides, a lot may have no rear lot line.
- c. Where no lot line is clearly opposite to the primary street lot line or where there are multiple primary street lot lines, the lot line having the highest portion of its length serving as the rear lot line of abutting lots is the rear lot line.

#### **6. Side Lot Line**

*Any lot line other than a primary street, side street, rear, or alley lot line.*

#### **7. Street Lot Line**

*Any lot line that abuts a street. Street lot lines include all primary street lot lines and side street lot lines.*

#### **8. Common Lot Line**

*Any lot line shared by 2 or more lots. All side and rear lot lines that do not abut a street or alley are common lot lines.*

#### **9. Through Lots**

For through lots, the Zoning Administrator may determine one or more primary street lot lines, and may designate the remaining lot line as either a side or rear lot line. The Zoning Administrator will consider the following when making their decision:

- a. The proposed number and arrangement of units on the lot to determine if is practical to have two primary street lot lines;
- b. The prevailing pattern of development on the surrounding parcels to determine which street should be designated as a primary street lot line and which street should be designated as a side or rear lot line; and
- c. The criteria in **2.6.1.C.1**.

### **D. Yard Designation**

#### **1. General**

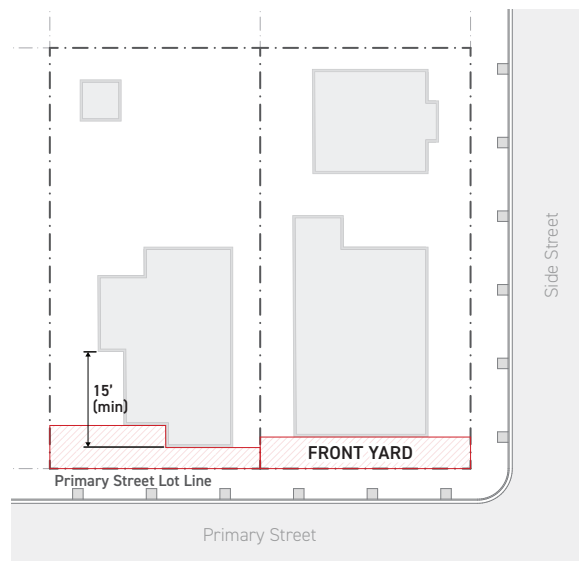
- a. Yards are designated on lots only, yards are not designated on sublots.
- b. All portions of a lot between the facade of a building and a property line will fall within one of the following yard designations: front yard, side street yard, side yard, or rear yard.

- c. No portion of a lot may have more than one yard designation.
- d. Yard designations are determined in the following order: (1) front yard, (2) side street yard, if any; (3) rear yard, if any; and (4) side yards, if any.

## 2. Front Yard

*All portions of a lot between a primary street lot line and a primary structure facing a primary street lot line extending the full width of the lot.*

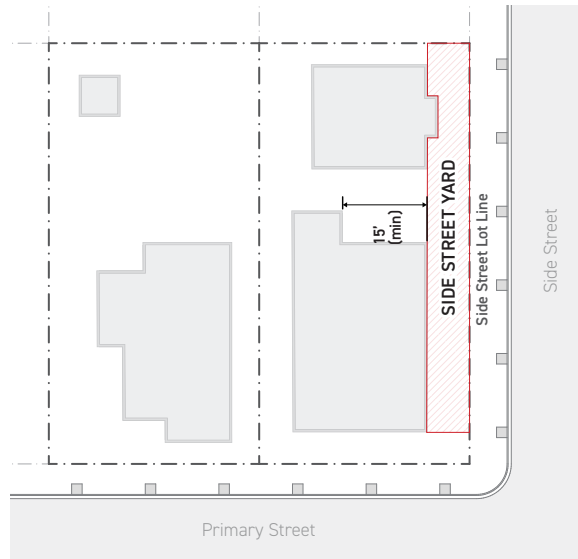
- a. A front yard does not include a building facade set back more than 15 feet from the primary building's street-facing facade.
- b. Any portion of a lot that is designated as a front yard may not be designated as any other yard.



## 3. Side Street Yard

*All portions of a lot between a side street lot line and a primary structure facing a side street lot line extending the full depth of the lot.*

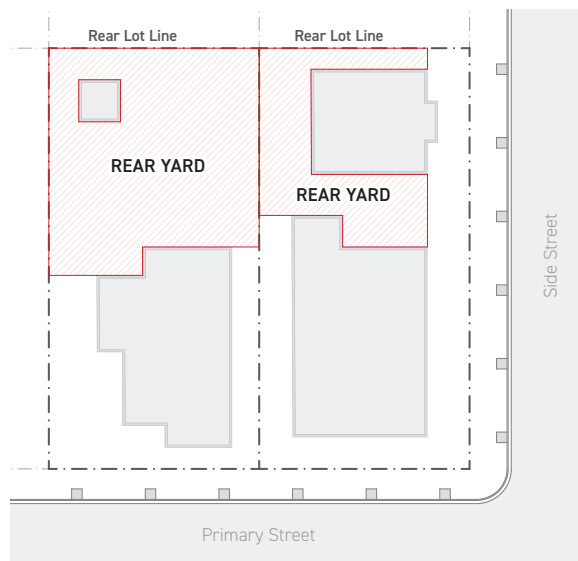
- a. A side street yard does not include any building facade set back more than 15 feet from the primary building's street-facing facade.
- b. For portions of the lot where no primary structure abuts the side street yard, the side street yard includes only portions of the lot included in the side street setback, see [2.6.5. Building Setbacks](#).
- c. A side street yard does not include any portion of a lot that may be designated as a front yard.



#### 4. Rear Yard

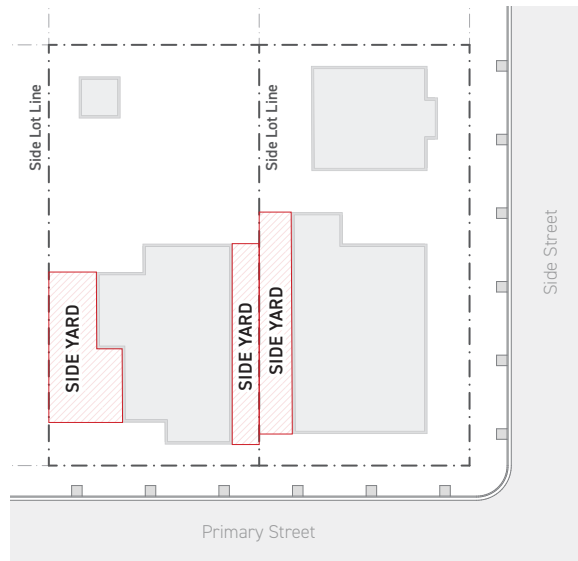
*All portions of a lot between a rear lot line and a primary structure facing the rear lot line for the full width of the lot.*

- A rear yard does not include any portion of a lot that may be designated as a front yard or side street yard.
- Any portion of a lot that is designated as a rear yard may not be designated as a side yard.



## 5. Side Yard

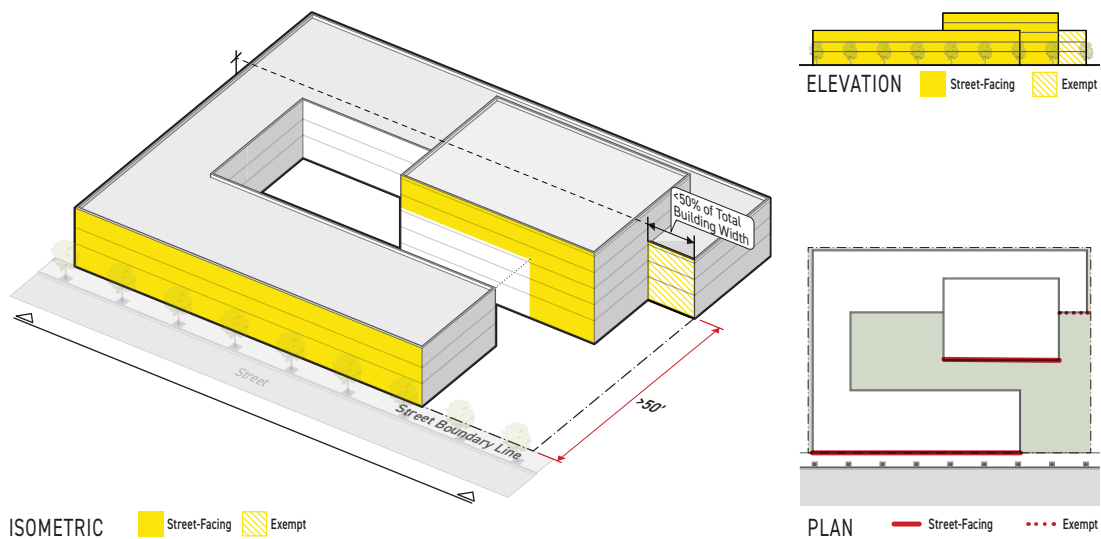
*All portions of a lot between a side lot line and a primary structure. Portions of a lot that do not meet the yard designation criteria for any other yard are designated as side yard.*



## E. Street-Facing Building Facades

*The portions of a building facade (when projected parallel to the street) with no permanent structure located between the building facade and the primary or side street lot line.*

1. Building facades located more than 50 feet behind the primary or side street lot line are exempt from any street-facing requirements, provided the cumulative width of the exempted facade is no wider than 50% of the total building width.



## 2.6.2. Lots

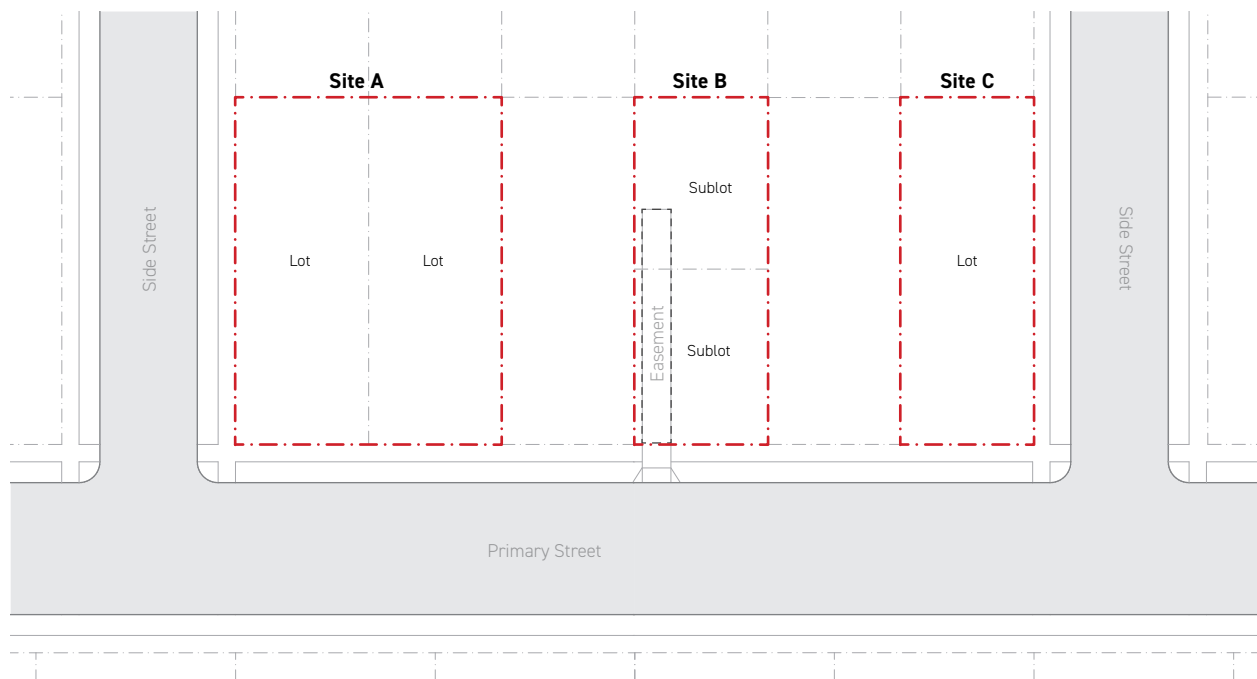
More than one principal building may be located on a lot, provided that the district requirements are met.

### A. Lot Frontage

1. Every new building established must be located on a lot that has frontage on an improved public street, alley, or recorded permanent easement, provided that the easement is approved by the Director of Public Works, the Chief of Police and the Chief of Fire and Emergency Services.
2. Individual lots may front on private streets, common courts, or pedestrian walkaways where the development site has frontage on a public street, alley, or recorded permanent easement when the means of access to each lot is approved by the Director of Public Works, the Chief of Police and the Chief of Fire and Emergency Services.

### B. Sublots

1. A subplot is a parcel of land, existing with other sublots on a single lot, intended for the purpose of the transfer of ownership or possession or for development.
2. When a lot is subdivided into sublots, the lot and each subplot must be recorded with the Office of the Register of Deeds.
3. A subplot is not required to conform to the lot standard requirements of the zoning district in which it is located but buildings must meet the building standard requirements.
4. Sublots are allowed in the Residential Attached Districts (RA-A, RA-B, and RA-C).



### C. Lot Area

*The total square footage within the boundaries of a lot.*



## 1. Intent

To help ensure newly established lots are generally consistent with desirable development patterns in the neighborhood and within the same zoning district.

## 2. Applicability

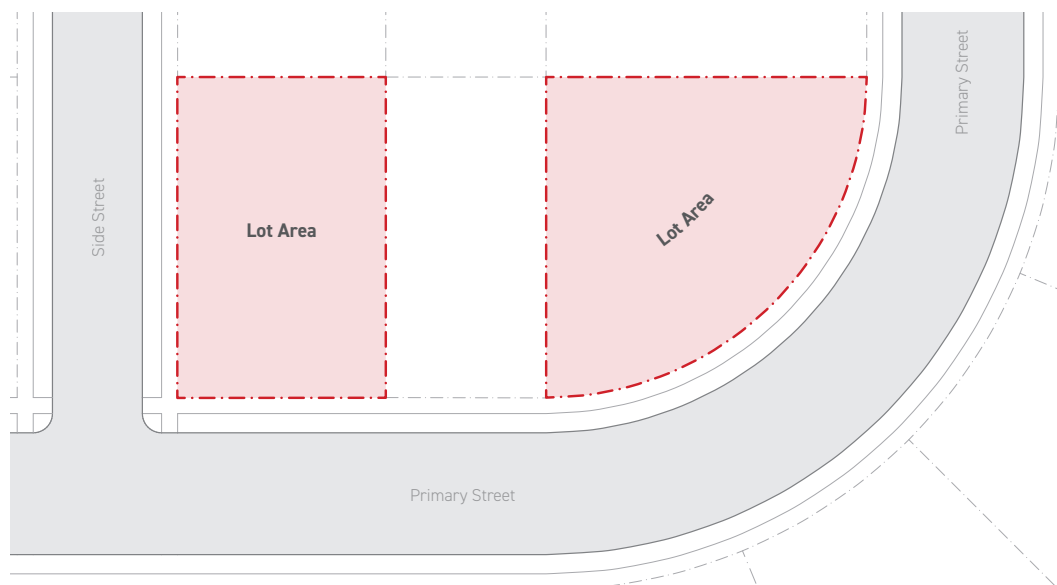
- a. The minimum lot area requirement applies to lots approved and recorded on or after the effective date of this Code.
- b. Any use allowed in the zoning district may be established on a lot lawfully created and recorded before the effective date of this Code, regardless of size of the lot, provided, that all other requirements of this Code are met.

## 3. Standards

Every lot must have an area no less than the minimum lot area required by the zoning district.

## 4. Measurement

- a. Lot area is measured as the total land area within the boundaries of a lot.
- b. Lot area includes all portions of a lot allocated for required easements.
- c. Lot area does not include portions of a lot required for land dedicated to public use.



## D. Width

*The length of primary street lot lines bounding a lot.*

## 1. Intent

To help ensure newly established lots are generally consistent with desirable development patterns in the neighborhood and within the same zoning district, and to help ensure safe and adequate vehicular access to and from a lot.

## 2. Applicability

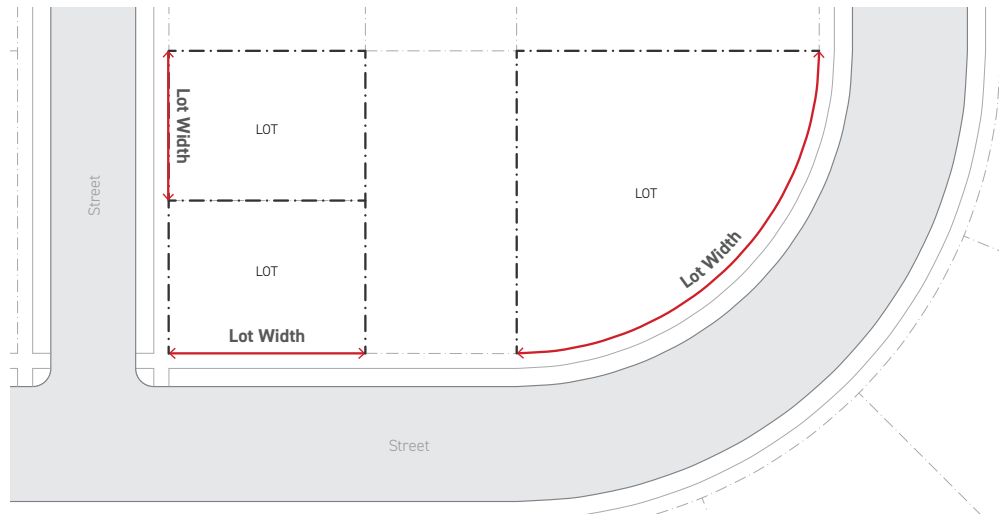
- a. The minimum width requirement applies to lots approved and recorded on or after the effective date of this Code.
- b. Any use allowed in the zoning district may be established on a lot approved and recorded before the effective date of this Code, regardless of the width of the lot, provided, that all other requirements of this Code are met.

## 3. Standards

Every lot must have a width no less than the minimum lot width required by the zoning district.

## 4. Measurement

- a. Lot width is measured following the geometry of all primary street lot lines that bound the lot.
- b. Where a lot has 2 or more primary street lot lines facing different streets, all primary street lot lines must meet the minimum width standard.



### 2.6.3. Dwelling Units

#### A. Dwelling Units per Lot

*The maximum number of dwelling units allowed on a lot.*

##### 1. Intent

To promote a full range of housing choices and ensure the number of dwelling units allowed on a lot is aligned with the zoning district intentions and is physically compatible with the lot itself.

##### 2. Applicability

- a. The limitation on the number of dwelling units per lot applies to all lots.
- b. Where sublots are allowed, density is calculated for each lot, not individual sublots.

### **3. Standards**

- a. A lot cannot exceed the maximum number of dwelling units allowed by the zoning district.
- b. Dwelling units may be detached or attached.

## **B. Dwelling Units Per Building**

*The maximum number of dwelling units allowed in a building.*

### **1. Intent**

To help ensure that the size and scale of buildings are generally consistent with the mass and scale requirements of a zoning district.

### **2. Applicability**

The limitation on the number of dwelling units in a building applies to each building on the lot.

### **3. Standards**

A building cannot have more than the maximum number of dwelling units allowed by the zoning district.

## **2.6.4. Coverage**

### **A. Building Coverage**

*The percentage of lot area covered by buildings or structures.*

### **1. Intent**

To help preserve open area and reduce the bulk of buildings by limiting the amount of buildings or structures that cover a lot.

### **2. Applicability**

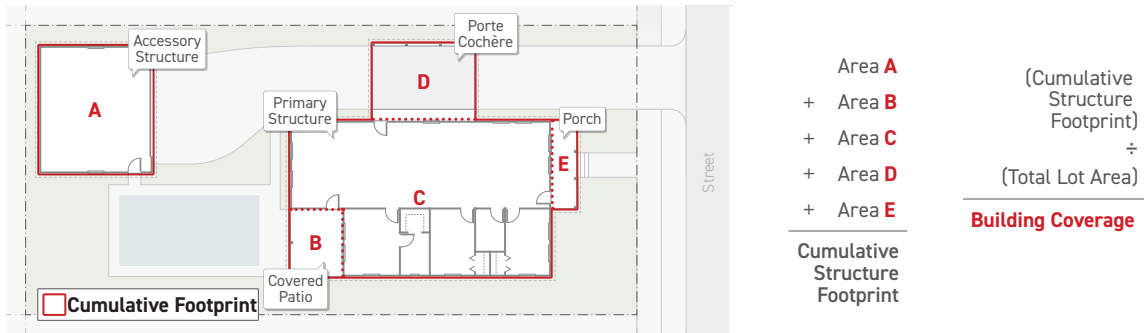
- a. The maximum building coverage requirements apply to all lots.
- b. Where sublots are allowed, building coverage is calculated for the lot, not individual sublots

### **3. Standards**

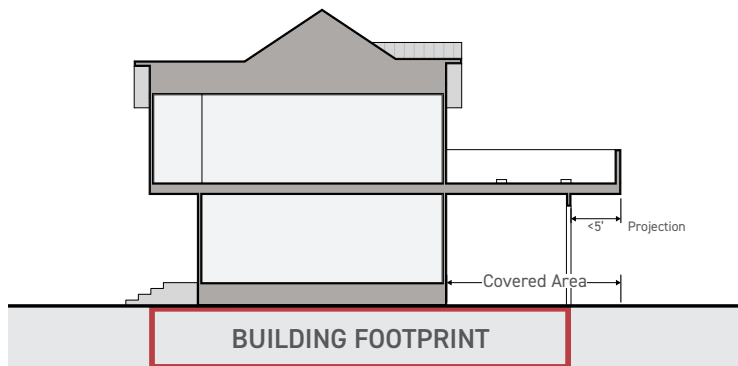
Buildings or covered structures on a lot cannot have a cumulative area in excess of the maximum building coverage allowed by the zoning district.

## 4. Measurement

- a. Building coverage is measured cumulatively for the entire lot.
- b. Building coverage is measured by dividing the building footprint of all covered buildings and structures on the lot by the lot area.



- c. The calculation of the building footprint does not include portions of architectural projections (including roof overhangs and projected balconies) that are less than 5 feet from the nearest wall, column, spanning beam, or other structural element carrying gravity loads to the ground.



## B. Outdoor Amenity Space

*An outdoor area on a lot designated to be used for active or passive recreation.*

### 1. Intent

- a. To help provide adequate recreation and open space areas for developments, and to ensure such spaces are accessible, usable, and safe; and
- b. To encourage high-quality, pedestrian-oriented, and publicly accessible gathering spaces along the street.

### 2. Applicability

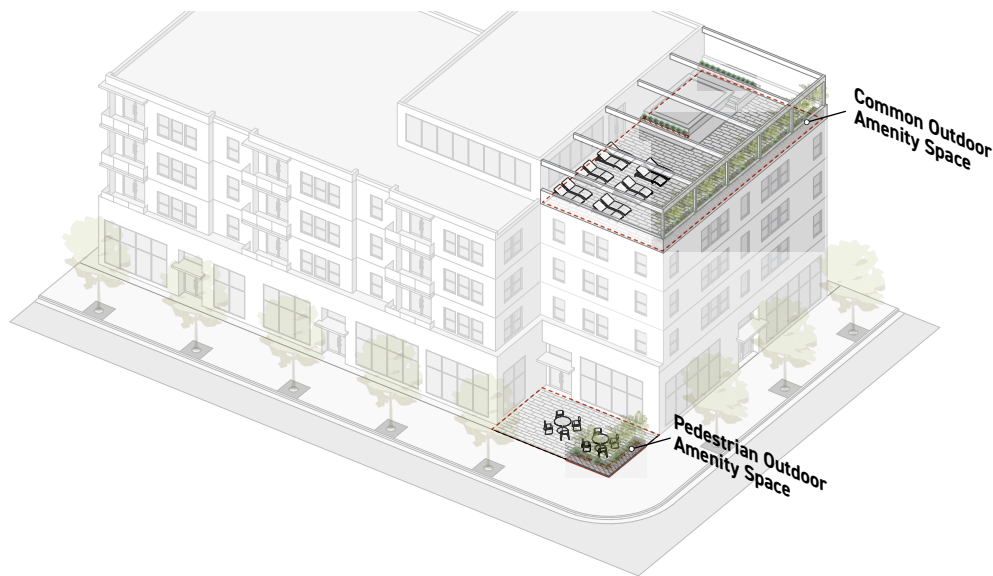
- a. The outdoor amenity space requirements apply to all lots.
- b. Where the calculation of outdoor amenity space requires less than 400 square feet, no amenity space is required.

- c. Where sublots are allowed, outdoor amenity space is calculated for each lot, not individual sublots.

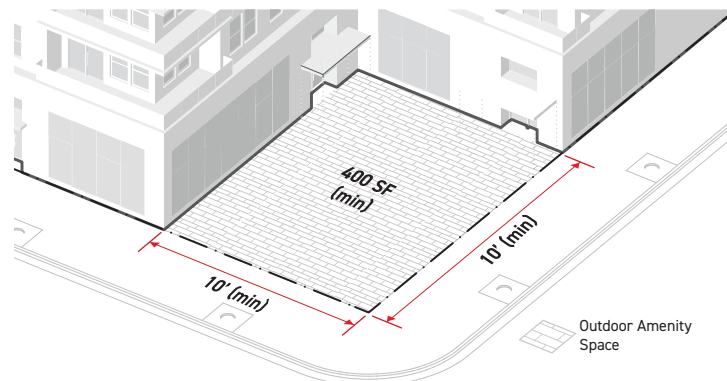
### 3. Standards

#### a. General

- i. The cumulative area of outdoor amenity space provided on a lot cannot be less than required by the zoning district.
- ii. The required amenity space must be classified as either Common Outdoor Amenity Space or Pedestrian Outdoor Amenity Space, and must meet the standards according to the classification.

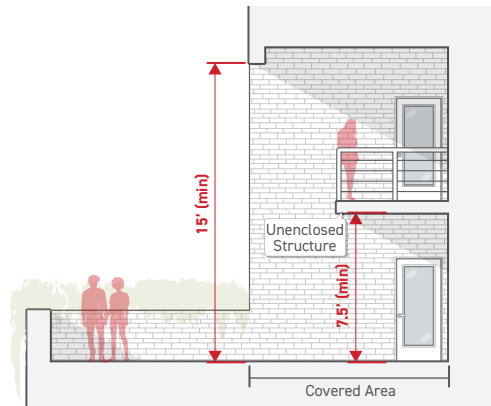


- iii. Each outdoor amenity space must have a minimum area of 400 square feet, and no horizontal dimension of less than 10 feet, measured perpendicular to any boundary of the space.

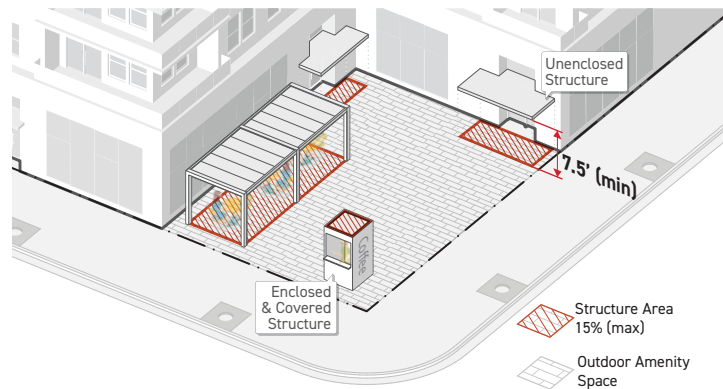


- iv. Outdoor amenity space can be covered but cannot be enclosed.
- v. Outdoor amenity space that is covered must have a minimum clear height of 15 feet.

- vi. No portion of an outdoor amenity space can have a clear height of less than 7.5 feet.



- vii. Enclosed accessory structures and roofed accessory structures are allowed within an outdoor amenity space provided they cover a cumulative area no greater than 25% of the outdoor amenity space area.



- viii. A minimum of 20% of the total area of each outdoor amenity space must be planted area and meet the requirements of **XXX. Landscaping**.
- ix. For every 400 square feet of outdoor amenity space, two permanent or movable seats must be provided. Two linear feet of bench or seat wall are counted as 1 seat.

## **b. Common Outdoor Amenity Space**

*Type of outdoor amenity space generally reserved for use by building occupants and may not be accessible to the public. Examples include roof decks, pool amenity areas, and courtyards.*

Common outdoor amenity space must meet all of the general standards for outdoor amenity space in addition to the following requirements:

- Each square foot of common outdoor amenity space provided counts as 1 square foot of required outdoor amenity space.
- Common outdoor amenity space must be made available to all occupants of a building, at no cost, during the hours of operation of the building. The space may not be permanently reserved or in any way exclude any occupant during the time it is required to be made available to all occupants.

- iii. Building facades adjacent to common outdoor amenity space must have a minimum transparency of 15% for each story.
- iv. Common outdoor amenity space cannot be located in a required transition setback area based on the requirements of **XXX. Transitions**.

#### **c. Pedestrian Outdoor Amenity Space**

*Type of outdoor amenity space that is publicly accessible and located in close proximity to the public sidewalk. Examples include patios and plazas.*

Pedestrian outdoor amenity space must meet all of the general standards for outdoor amenity space in addition to the following requirements:

- i. Each square foot of pedestrian outdoor amenity space provided counts as 2 square feet of required outdoor amenity space.
- ii. A minimum of 25% of the pedestrian outdoor amenity space perimeter must abut and be directly accessible from the sidewalk along a primary or side street.
- iii. Pedestrian outdoor amenity space cannot be separated from this public sidewalk by any structure for more than 40% of the width of the amenity space, with the exception of a wall or fence 42 inches in height or the maximum height specified by the zoning district, whichever is less. The allowed wall or fence must provide openings for pedestrian access at least once every 35 feet.
- iv. The finished floor or ground surface of a pedestrian outdoor amenity space must be located either at the same grade as the sidewalk, or within the minimum and maximum finished floor elevations specified by the zoning district (see **2.6.10.B. Finished Floor Elevation**).
- v. All building facades facing pedestrian outdoor amenity space must meet the transparency and entrances standards required by the zoning district for the applicable primary or side street frontage.
- vi. Mechanical and utility equipment cannot be located within a pedestrian outdoor amenity space, or between a pedestrian outdoor amenity space and an adjacent building facade.

#### **4. Measurement**

The minimum required outdoor amenity space is calculated by multiplying the total lot area by the minimum outdoor amenity space percentage specified by the zoning district.

## 2.6.5. Building Setbacks

*The area on a lot not intended for buildings and structures. Includes primary street setbacks, side street setbacks, side setbacks, rear setbacks, and alley setbacks.*

### A. Intent

To provide open areas on a site and help reduce the impact of buildings or structures on abutting sidewalks and neighboring development.

### B. Applicability

1. The building setback requirements apply to all lots.
2. Where sublots are allowed, building setbacks apply only to the perimeter edges of a lot. Building setbacks do not apply to individual sublots.

### C. Standards

#### 1. Minimum Setbacks

All principal and accessory buildings and structures on a lot must be located at or behind the minimum building setback as specified by the zoning district, unless listed as an exception below

#### 2. Maximum Setbacks

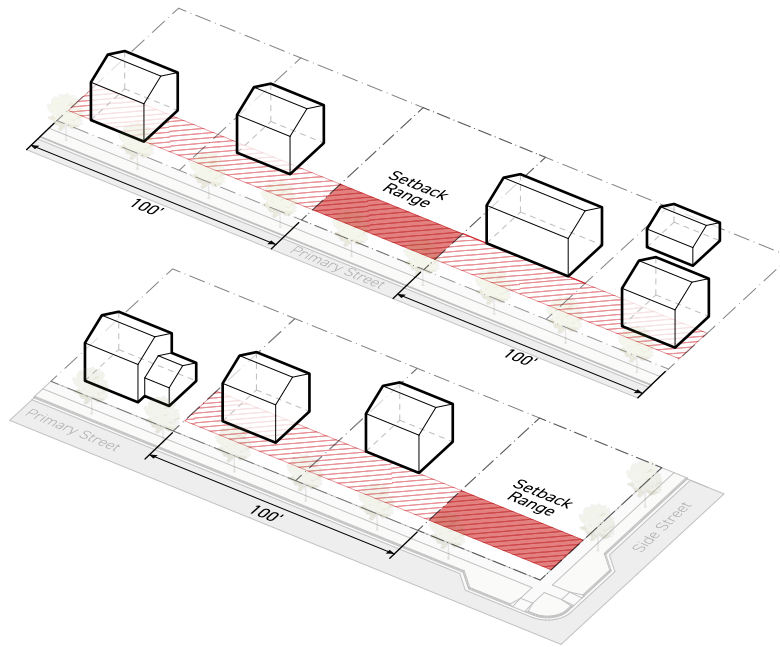
Zoning districts with a build-to width requirement have a required maximum setback, in addition to a required minimum building setback. In these districts, a certain portion of the building must be located at or in front of the maximum building setback specified by the district. For requirements related to the build-to width, see [2.6.6. Build-to](#).

#### 3. Existing Setback Range

When the zoning district specifies "existing range," the primary street setback is calculated as follows:

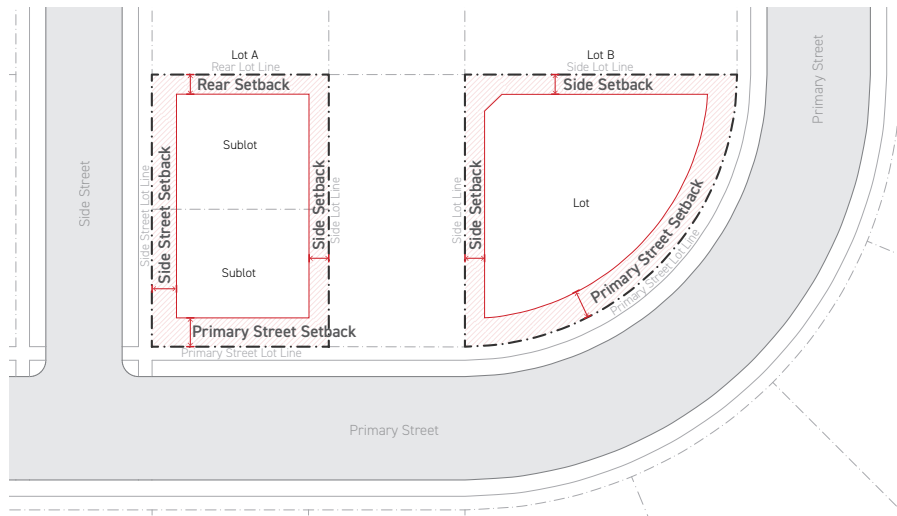
- a. The required primary street setback must be met within the range of existing primary street setbacks, no closer than the smallest and no further than the largest in the range.
- b. The setback range is measured on the basis of all principal buildings within 100 feet in either direction along the block face.
- c. If it is determined that the setback range cannot be adequately calculated, the setback for the zoning district must be met.





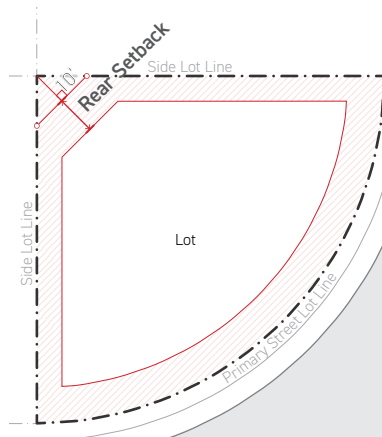
## D. Measurement

1. All building setbacks are measured perpendicular to the applicable lot line.
2. Where a lot line abuts an access easement, the setback may be measured from the interior edge of the easement rather than the lot line.



3. Primary street setback is measured from the primary street lot line.
4. Side street setback is measured from the side street lot line.
5. Rear setback is measured from the rear lot line.
  - a. For determining the rear setback for a triangular or gore-shaped lot, the rear lot line is measured from a 10-foot wide line, parallel to the primary street lot line that intersects two side lots lines at its endpoints.

- b. For instances where the primary street lot line is not straight, the rear lot line must be parallel to a line connecting the end points of the primary street lot line.



6. Alley setback is measured from the alley lot line.

## E. Exceptions

### 1. Limited Encroachments

- a. The following are allowed to encroach beyond the building setback up to the minimum distance from the lot line specified below. The encroachments only apply when the zoning district's setbacks are equal to or larger than the allowed encroachment setbacks specified below.

	SETBACK		
	Primary St. / Side St.	Side / Rear	Alley
<b>Architectural Details</b>			
Encroachment (max)	2'	2'	2'
Distance from lot line (min)	0'	2'	1.5'
<b>Roof Projections</b>			
Encroachment (max)	2.5'	2.5'	2.5'
Distance from lot line (min)	0'	2'	1.5'
<b>Unenclosed Structures: Ground Story</b>			
Encroachment (max)	8'	3'	3'
Distance from lot line (min)	0'	2'	0'
<b>Unenclosed Structures: Upper Story</b>			
Encroachment (max)	5'	3'	5'
Distance from lot line (min)	0'	2'	1.5'
<b>Enclosed Structures: Projecting</b>			
Encroachment (max)	2.5'	1.5'	2.5'
Distance from lot line (min)	0'	2'	1.5'
<b>Mechanical and Electrical Equipment</b>			
<b>Ground Mounted</b>			
Encroachment (max)	not allowed	2.5'	2.5'
Distance from lot line (min)	--	2.5'	2'

	Primary St. / Side St.	SETBACK	
		Side / Rear	Alley
<b>Wall Mounted</b>			
Encroachment (max)	not allowed	1.5'	1.5'
Distance from lot line (min)	--	2.5'	2'
<b>Waste Enclosure</b>			
Encroachment (max)	not allowed	5'	5'
Distance from lot line (min)	--	5'	5'
<b>Signs</b>	see <b>XX. Signs</b>		

- b. In an R-C or RD- district, small accessory structures have a reduced side and rear setbacks - see **3.5.1.C**.

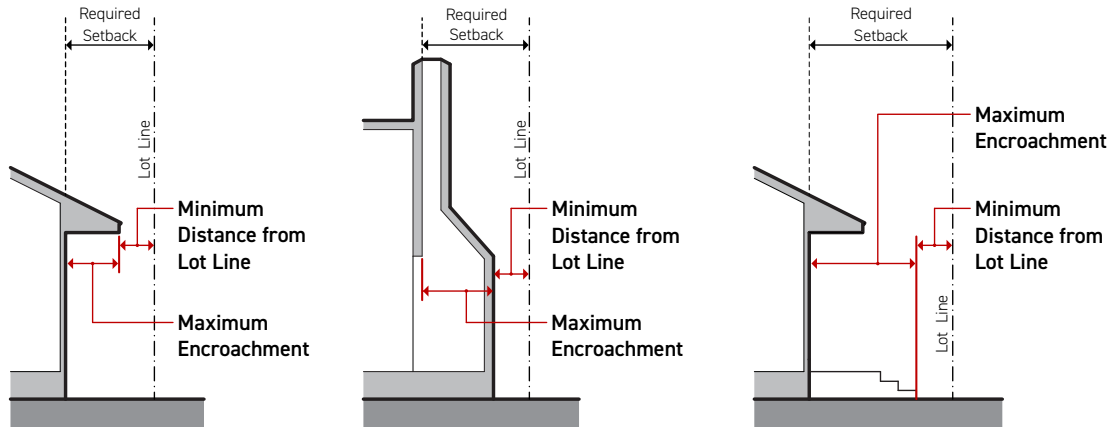
## 2. Unlimited Encroachments

The following may encroach into a required setback to the extent necessary to perform their proper function:

- a. Accessibility ramps and lifts and fire escapes;
- b. Covered structures located entirely below grade. Examples include footings, cellars, basements, storm water storage, and cisterns;
- c. Any structure not more than 3 feet in height - including sidewalks, multi-use paths, ramps, driveways, patios, and decks;
- d. Fences and walls (see **XXX**);
- e. Trees, shrubs, flowers, herbs, vegetables, grasses, ferns, mosses, and associated planters and raised planting beds, if applicable;
- f. Low impact development (LID) stormwater devices approved by the City; and
- g. Permanent or movable furniture. Examples include benches, tables, and bike and scooter parking racks.

## 3. Measurement of Encroachments

- a. Encroachment is measured as the horizontal distance from the edge of the area where structures are restricted.
- b. Distance from lot line is measured as the horizontal distance from a lot line. Distance from lot line is measured toward the interior of the lot line along the full perimeter of the lot line.



#### 4. Encroachment Terminology

##### a. Architectural Details

Building elements not intended for human occupation attached to or integrated into the structure of a building including elements designed for environmental benefits. Examples include cornices, belt courses, sills, lintels, pilasters, pediments, chimneys, and solar shades.

##### b. Roof Projections

Roof elements that overhang or cantilever beyond the footprint of a building and do not include posts or columns. Examples include eaves, roof overhangs, gutters, awnings, and canopies.

##### c. Unenclosed Structures: Ground Story

Unenclosed structures having all finished floors and ground surfaces more than 3 feet in height and having a total structure height less than 15 feet. Examples include: porches, decks, stoops, landing platforms, and gazebos.

##### d. Unenclosed Structures: Upper Story

Unenclosed structures having a total structure height of 15 feet or greater. Examples include: balconies, upper-story light shelves, exterior stairways.

##### e. Enclosed Structures: Projecting

Enclosed structures that overhang or cantilever beyond the footprint of the building that have a cumulative length less than 25% of the width of the building facade. Examples include bay windows, sleeping porches, doorway vestibules, overhanging volumes, and enclosed balconies.

##### f. Mechanical and Electrical Equipment: Ground Mounted

Equipment supported by the ground related to publicly- or privately-owned or operated systems 3 feet or more in height. Examples include transformers, gas meters, water softeners,

generators, pool equipment, HVAC equipment, water utility devices, gas tanks, cisterns, wind turbines, and solar panels.

**g. Mechanical and Electrical Equipment: Wall Mounted**

Equipment attached to a wall related to publicly- or privately-owned or operated systems. Examples include gas meters, electric meters, electrical or utility cabinets, water heaters, and internet or cable boxes.

**h. Waste Enclosure**

Waste areas and their required screening structures. Examples include trash compactors, garbage, recycling, and food waste containers.

## 2.6.6. Build-To

*The amount of building that occupies the build-to zone relative to the width of the lots at the street lot line.*

### A. Intent

To regulate the placement of buildings so that buildings frame the public realm with a consistent street wall.

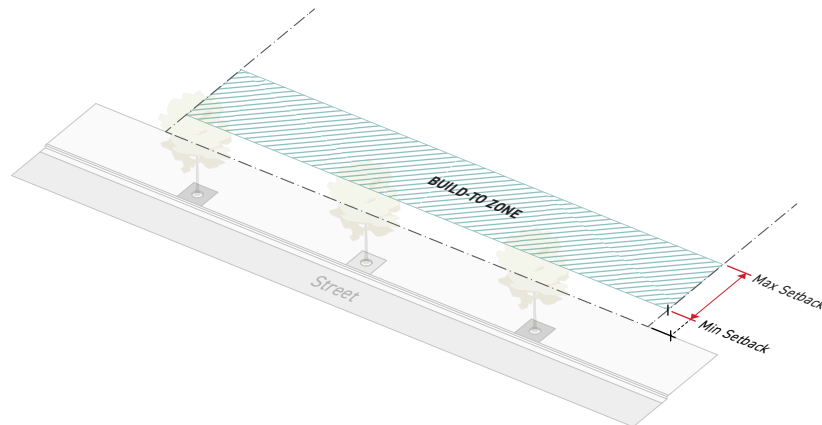
### B. Applicability

1. The build-to applies to all lots.
2. Where sublots are allowed, the build-to is calculated for each lot, not individual sublots.
3. The build-to requirements apply to the ground story of the building only. The ground story is determined according to *2.6.8.A, Building Height*.

### C. Standards

#### 1. General

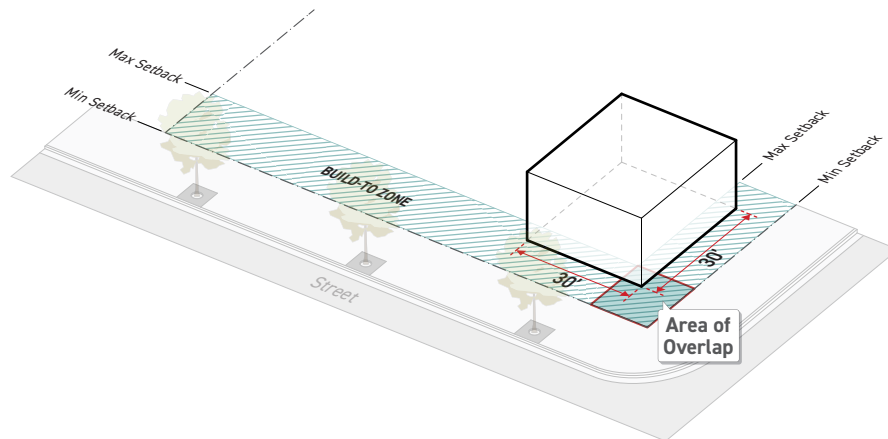
- a. The build-to zone is the area on the lot between the minimum and maximum building setbacks, for the full width of the lot.
- b. The build-to zone is measured from the primary or side street lot line. The build-to zone starts at the minimum building setback and extends to the maximum building setback.



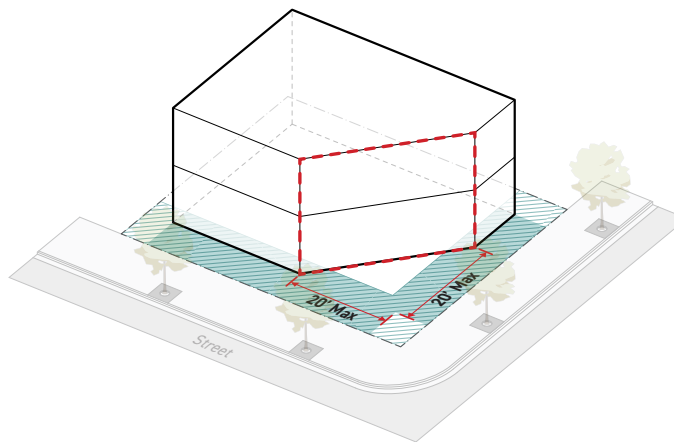
- c. No building or portion of a building facade can be located outside of the build-to zone, until the build-to requirement for the lot, as specified for the zoning district, has been met.
- d. Once the minimum build-to requirement has been met, buildings and structures may be located in the area behind the maximum building setback.

## 2. Corner Lots

- a. On corner lots where both streets have build-to width requirements, a building must occupy the portion of the area where the two intersecting build-to zones overlap. The building must occupy the build-to zones for both streets lot lines for a minimum of 30 feet from the corner. The minimum requirement is measured starting at the edge of the building occupying the area of overlap and moving away from the corner, parallel to the street lot line. This counts toward the required build-to width for both street lot lines.



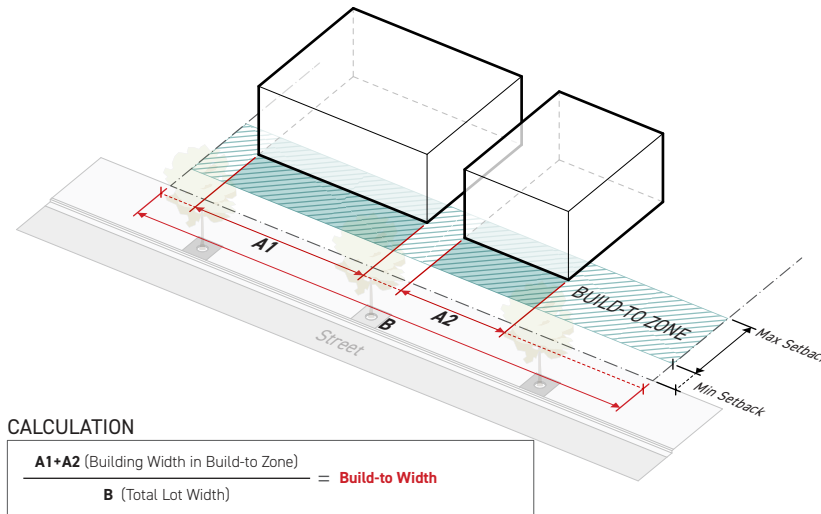
- b. A chamfered corner no more than 20 feet in width along both street lot lines qualifies as a building in the build-to zone even where it extends outside of the build-to zone. Chamfered corner width is measured parallel to the street lot line.



- c. Corner lot standards do not apply when a pedestrian outdoor amenity space occupies the same portion of the area of overlap and is being used to count toward the build-to requirement.

## D. Measurement

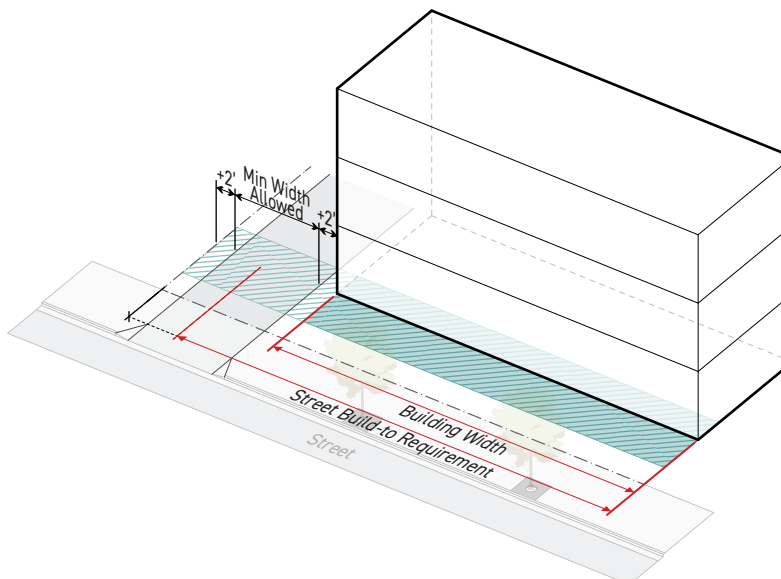
1. The build-to is a percentage measured as the sum of all building facades occupying the build-to zone, divided by the total lot width.
2. The build-to is calculated separately along each street lot line where a build-to is required.



## E. Exceptions

### 1. Vehicular Access Allowance

Where vehicular access is allowed from a street and providing access prevents a building from meeting the build-to requirement, a reduced build-to width may be allowed by the Administrator, provided the portion of the lot in the build-to zone used for vehicle access is no wider than the minimum required driveway width plus an additional 4 feet of width for clearance. [See XXX. Vehicle Access.](#)



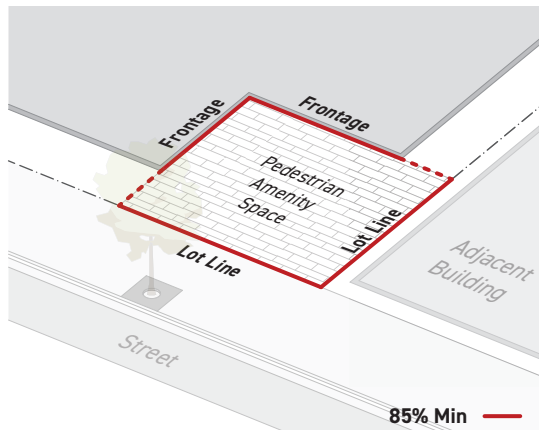


## 2. Pedestrian Outdoor Amenity Space Allowance

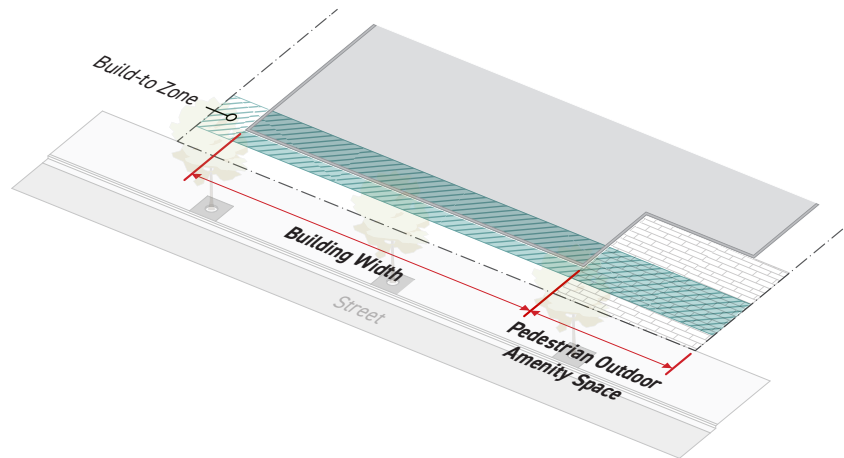
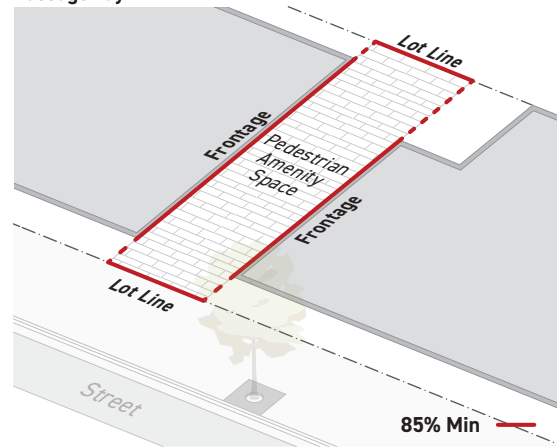
Space meeting the requirements for pedestrian outdoor amenity space (2.6.4.B, *Outdoor Amenity Space*) may be provided as a substitute for the build-to requirement, provided the following standards are met:

- A minimum of 85% of the pedestrian outdoor amenity space perimeter must abut either a lot line or a facade meeting the standards of the zoning district specified for the abutting street lot line.
- Where pedestrian outdoor amenity space abuts multiple street lot lines, the standards specified for the street lot line that abuts the pedestrian outdoor amenity space for the greatest length applies.

**Plaza:**



**Passageway:**



## 2.6.7. Parking Location

### A. Parking Setbacks

*An area on a lot not intended for the parking of motor vehicles. Includes indoor parkings setbacks and outdoor parking setbacks.*

#### 1. Intent

To minimize the impact of motor vehicle dominated areas on the public realm and to promote a comfortable, safe, engaging, and attractive streetscape with active uses and landscaping along the public realm.

#### 2. Applicability

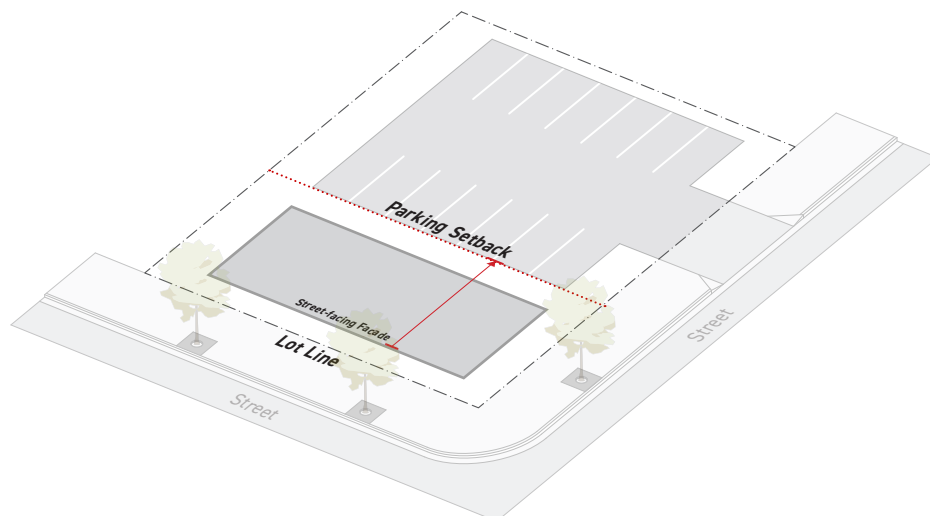
- a. Parking setbacks apply along primary street and side street frontages.
- b. Parking setbacks apply to the ground story only.

#### 3. Standards

- a. All parking lots and motor vehicle use areas must be located at or behind the required parking setback, except for driveways that meet XXX.
- b. All parking lots and motor vehicle use areas that abut a primary or side street lot line must be screened in accordance with XX. **Frontage Screens**.

#### 4. Measurement

- a. Parking setbacks are measured from the street-facing building facade (or level with the street-facing building facade) inward away from the primary or side street lot line.
- b. Only applies to and is measured from building facades used to meet the build-to requirement.
- c. For determination of build-to see 2.6.6. **Build-to**.



## B. Between the Building and Street

### 1. Intent

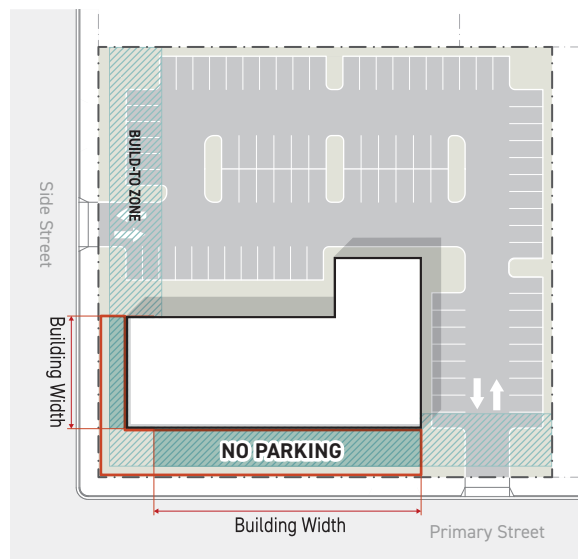
To minimize the impact of auto-dominated areas on the public realm and to promote a comfortable, safe, engaging and attractive streetscape with active uses and landscaping along the public realm.

### 2. Applicability

The parking location limitations apply to all lots.

### 3. Standards

- a. No parking or area designed for use by a motor vehicle use can be located between the portion of a building used to meet the build-to requirement and the street, when specified by the zoning district.



- b. All parking lots and other areas designed for use by a motor vehicles that abut the primary or side street lot line must be screened in accordance with XX. **Frontage Screens**.
- c. See XX, **Parking** for additional parking and parking area requirements.

### 4. Measurement

For determination of build-to see 2.6.6. *Build-to*.

## 2.6.8. Massing

### A. Building Height

*The vertical dimension of a building or structure measured in feet and stories.*

#### 1. Intent

To help provide adequate light, air, safety, and to protect the visual character of an area and the interests of the general public.

#### 2. Applicability

Building height limitations apply to all lots.

#### 3. Standards

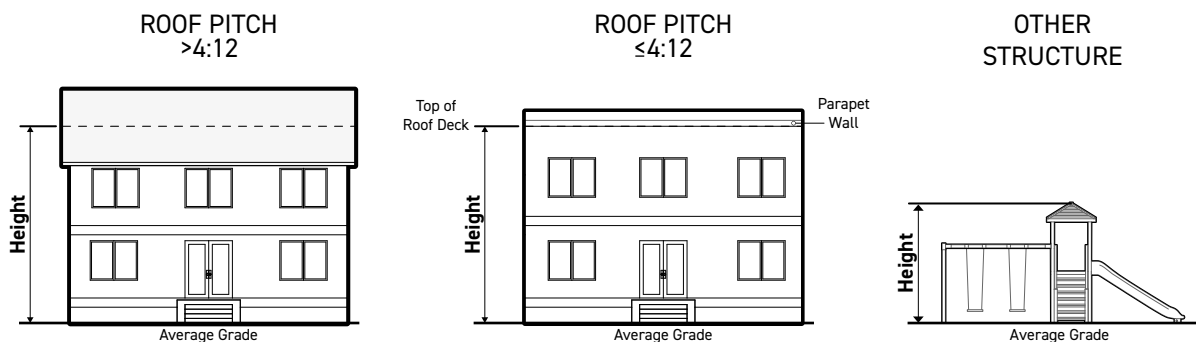
No building, portion of a building or structure can exceed the maximum height in number of feet or stories allowed in the zoning district, unless listed as an exception in 2.6.8.A.5.

#### 4. Measurement

##### a. Maximum Height in Feet

Height in feet is the number of feet from average grade to:

- i. The mid-point of the roof, for a building with a roof having a pitch greater than 4:12;
- ii. The top of the roof deck, for a building with roof having a pitch of 4:12 and less; and
- iii. The topmost point of the structure, for all other structures.



##### b. Average Grade

*The elevation from which building and structure heights are measured.*

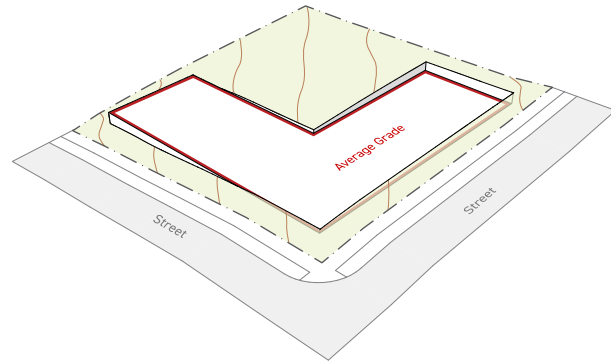
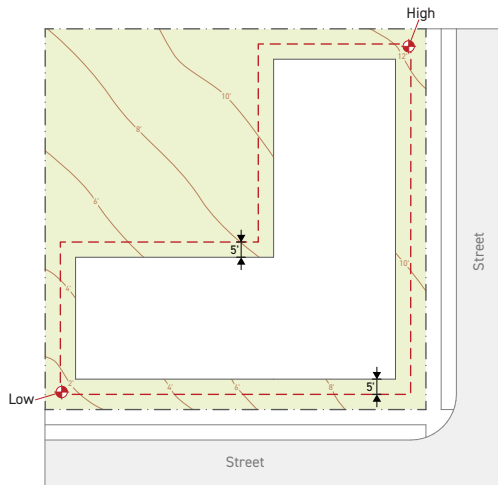
#### i. General

Average grade may be established either of the following ways:

- a). For a full building; or
- b). For each building module established by ground story modules.

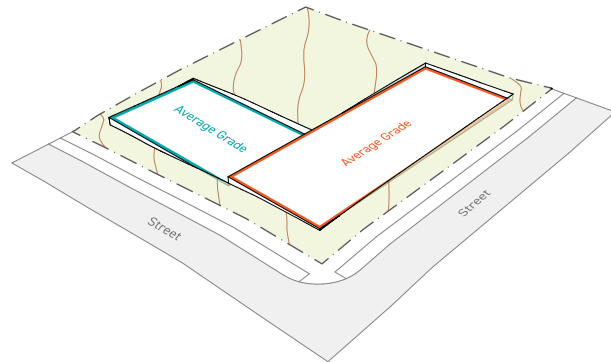
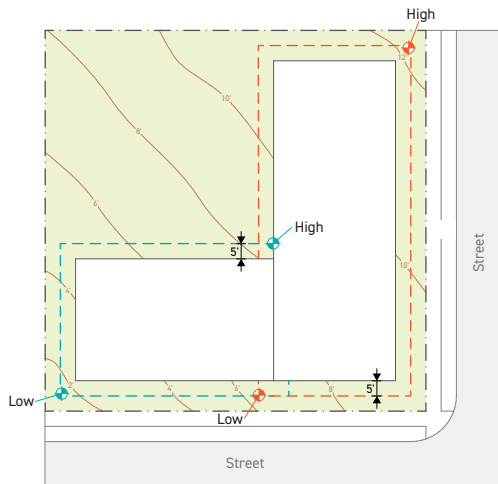
## ii. Full Building Method

For the full building method, average grade is calculated by averaging the highest and lowest elevation of existing grade within 5 feet of the building perimeter.



## iii. Building Module Method

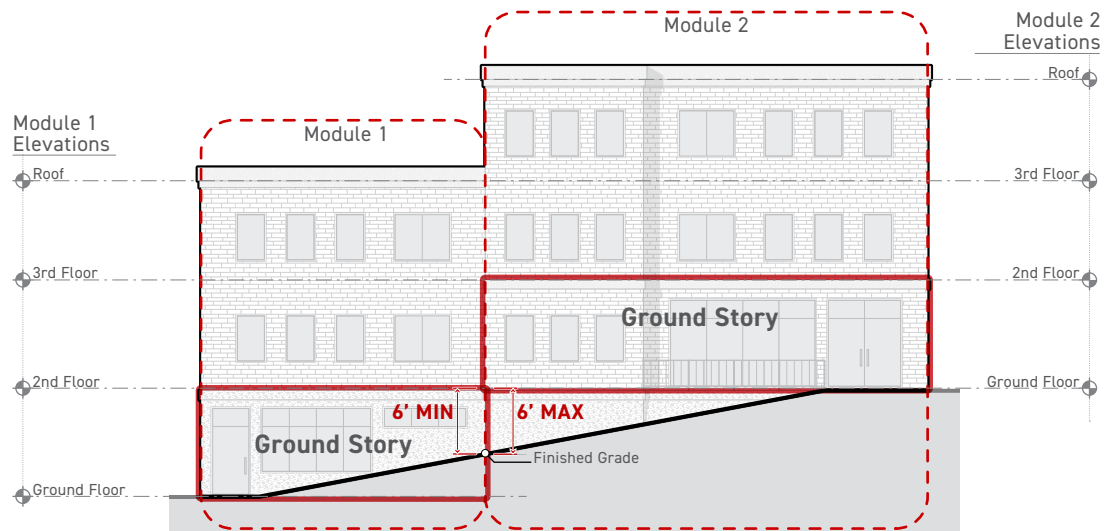
For the building module method, average grade is calculated independent for each building module by averaging the highest and lowest elevation of existing grade within 5 feet of the perimeter of each building module.



## c. Maximum Height in Stories

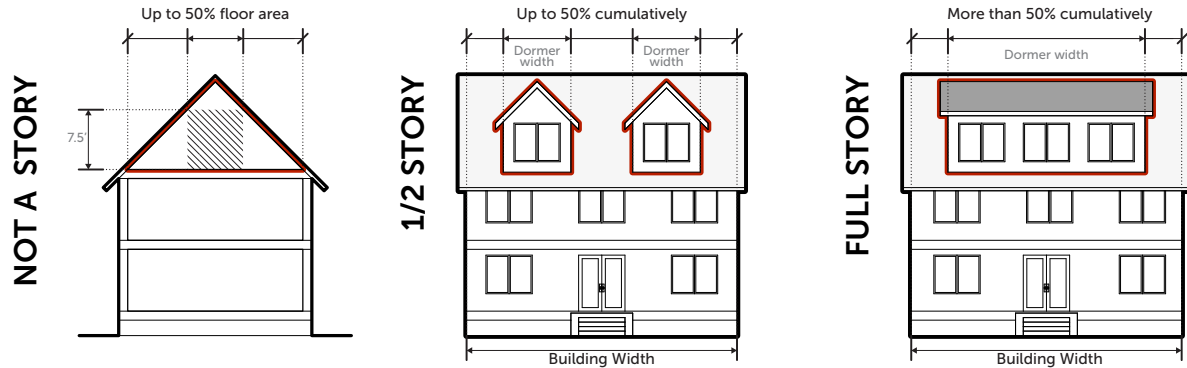
- i. Height in stories is measured as the number of stories above finished grade. The ground story and all upper stories are included in the calculation of maximum height in stories.
- ii. A story is the part of a building included between the surface of one floor and the surface of the next floor above, or if there is no floor above, then the ceiling next above.
- iii. Basements and mezzanines do not count as a story.

- iv. The ground story (or first story) of a building is determined as follows:
- The first (facade) story that is exposed a minimum of 6 feet above finished grade along the full width of the applicable building facade.
  - The finished floor of a ground story can be no higher than 6 feet above finished grade for any portion of the building perimeter. This may mean the ground story may change within the same building.



- v. The topmost story of a building is not counted as a full story and is counted as a half story when:
- It is completely within the roof form of the building and less than 50% of the floor area has a clear height of more than 7.5 feet, measured from the finished floor to the finished ceiling; or

b). Dormers do not exceed more than 50% of the front, rear or side building length.



## 5. Exceptions

### a. Encroachments

The following encroachments are allowed to extend beyond the maximum height limit, as specified below:

	District Height (max)		
	Up to 40'	Between 40' & 70'	More than 70'
<b>Architectural Elements</b>			
Encroachment (max)	5'	10'	15'
Setback from roof edge (min)	0'	0'	0'
<b>Safety Barriers</b>			
Encroachment (max)	6'	6'	6'
Setback from roof edge (min)	0'	0'	0'
<b>Vertical Circulation</b>			
Encroachment (max)	14'	14'	14'
Setback from roof edge (min)	5'	5'	5'
<b>Unenclosed Structures</b>			
Encroachment (max)	10'	10'	10'
Setback from roof edge (min)	5'	5'	5'
<b>Mechanical and Electrical Equipment</b>			
Encroachment (max)	3'	5'	10'
Setback from roof edge (min)	5'	5'	5'
<b>Flatwork</b>			
Encroachment (max)	3"	3"	3'
Setback from roof edge (min)	1'	1'	1'
<b>Vegetation</b>			
Encroachment (max)	unlimited	unlimited	unlimited
Setback from roof edge (min)	1'	1'	1'
<b>Signs</b>	see XXX. Signs		

## **b. Encroachment Terminology**

### **i. Architectural Elements**

Building elements not intended for human occupation attached to or integrated into the top of a building. Examples include chimneys, skylights, steeples, spires, belfries, cupolas, domes, flagpoles, and lighting.

### **ii. Safety Barriers**

Vertical barriers used for safety and protection. Examples include fences, walls, parapets, and railings.

### **iii. Vertical Circulation**

Enclosed structures used for building circulation and rooftop access. Examples include elevator rooms and associated equipment and stair access to the roof.

### **iv. Unenclosed Structures**

Unenclosed structures attached to or integrated into the roof of a building, intended for human shelter or activity. Examples include shade structures, cabanas, pergolas, rooftop bars, outdoor dining, permanent seating, beehives, sports courts, and cooking facilities.

### **v. Mechanical and Electrical Equipment**

Equipment supported by a roof related to publicly- or privately-operated systems. Examples include HVAC equipment, cisterns, water tanks, wind turbines, solar panels, solar water heaters, exhaust ducts, smokestacks, communication equipment, satellite dishes, ventilation fans, flues, vent stacks, and generators.

### **vi. Flatwork**

Constructed objects 3 feet in height or less. Examples include decking, walkways, patios, and planters.

### **vii. Vegetation**

Living organisms, absorbing water and organic substances through its roots and synthesizing nutrients. Examples include trees, shrubs, flowers, herbs, vegetables, grasses, ferns, mosses, and associated planters and raised beds.

## **B. Building Width**

*The horizontal width of a building parallel to the street.*

### **1. Intent**

- a. To promote fine-grained patterns of development and prevent long buildings that are significantly out of context with the City's traditional patterns of development by breaking wide buildings into multiple, clearly distinguished building widths.
- b. To encourage larger projects to provide open space for pedestrians and recreation.



## 2. Applicability

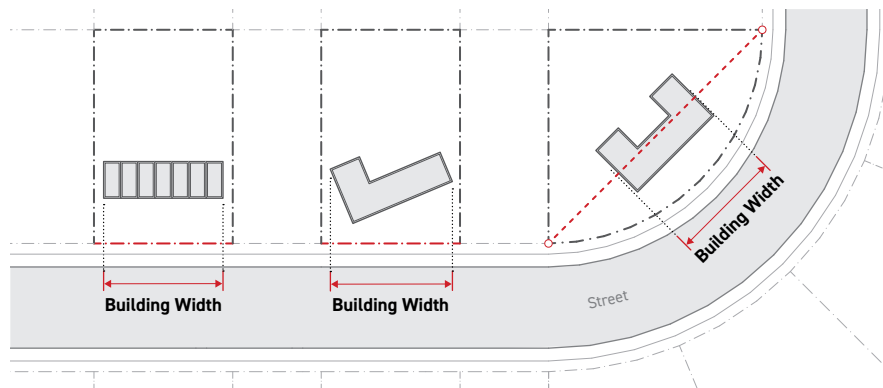
- a. Building width requirements apply to all street-facing building facades.
- b. Building width requirements apply only to portions of buildings located above the maximum finished floor elevation (2.6.10.B. *Finished Floor Elevation*) required by the zoning district.

## 3. Standards

- a. No building located on a lot may be wider than the maximum building width allowed by the zoning district.
- b. Two buildings can abut one another provided that they have no shared components and are structurally independent from one another.

## 4. Measurement

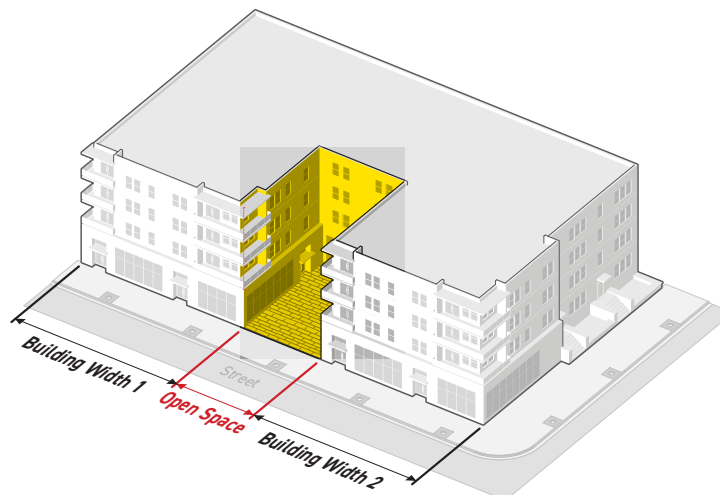
Building width is measured horizontally and parallel to each abutting primary street or side street lot line from one end of a building to the opposite end.



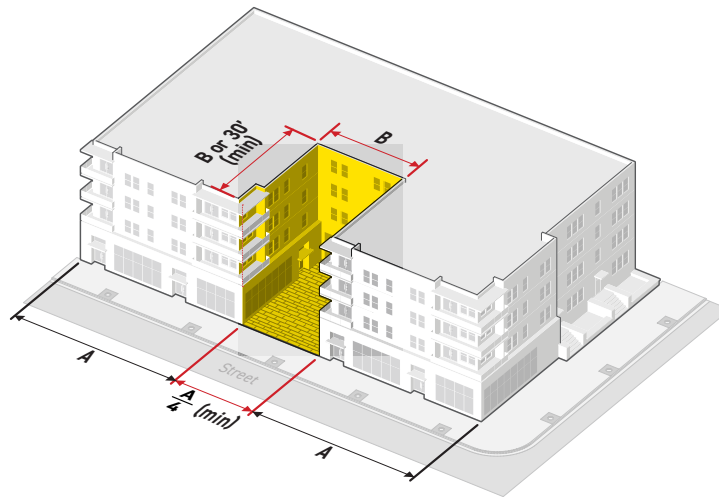
## 5. Exceptions

An open space meeting the following standards may be used to establish a continuous structure as effectively separate buildings for the purpose of meeting a maximum building width requirement:

- a. A maximum of one open space exception is allowed for each building.



- b. The width of the open space must be no less than  $\frac{1}{4}$  the width of the widest adjacent building width provided.
- c. The depth of the open space must be at least equal to the width of the open space or 30 feet, whichever is less.



- d. The open space must meet the standards in *2.6.4.B, Outdoor Amenity Space*.

## 2.6.9. Active Depth

*The horizontal depth of a building that must contain active spaces.*

### A. Intent

To help minimize the impact of inactive spaces on the public realm and to promote a comfortable, safe, engaging, and attractive build environment.

### B. Applicability

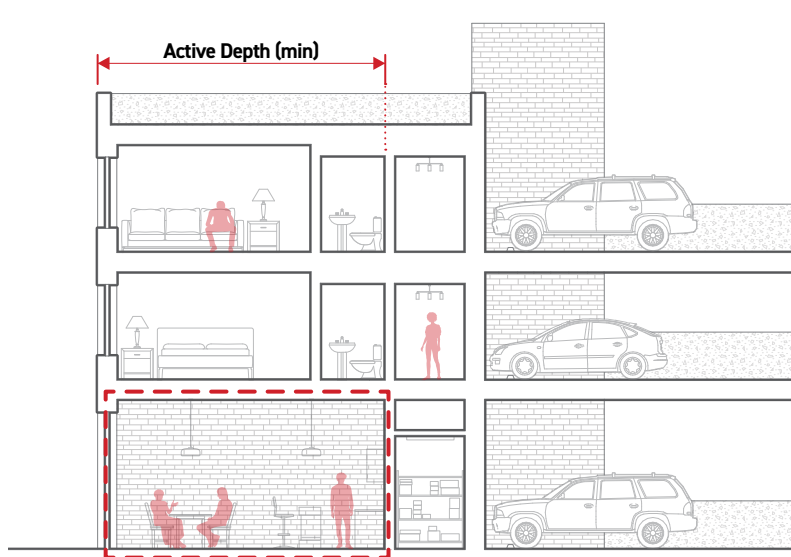
1. Active depth standards apply to the portions of a building used to meet the minimum build-to width requirement. *See 2.6.6. Build-to.*
2. Active depth applies to the ground story only.

### C. Standards

1. Applicable portions of a building must provide the minimum active depth required by the zoning district.
2. No more than 20% of the floor area of the required active depth may be used for inactive spaces such as storage, hallways, stairwells, and equipment rooms.
3. Parking spaces and motor vehicle use areas are not allowed in any portion of the required active depth.

### D. Measurement

Active depth is measured from the front building facade inward to the interior of the building.



## 2.6.10. Ground Story

### A. Ground Story Height

*The floor-to-floor height of the story of a building.*

#### 1. Intent

To promote high-quality ground-story spaces that are adaptable and appropriate to their intended use and surrounding context.

#### 2. Applicability

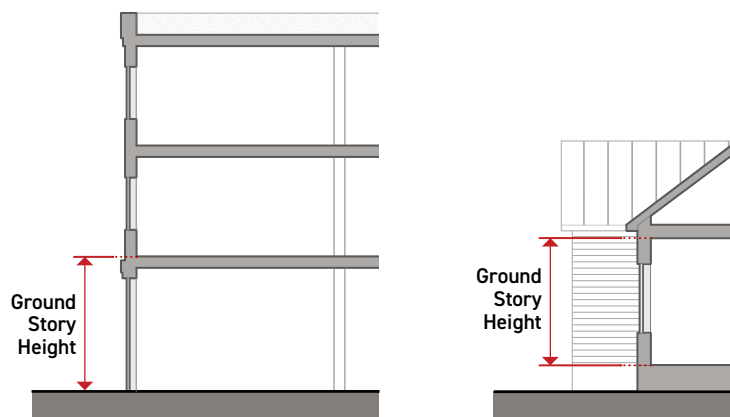
- a. The ground story height standards apply to all buildings that contain habitable space on the ground story.
- b. Where a zoning district regulates ground story height differently for residential and nonresidential uses, residential standards apply to all residential uses, and nonresidential standards apply to nonresidential uses.

#### 3. Standards

Ground story height can be no lower than the minimum ground story height required by the zoning district.

#### 4. Measurement

- a. Ground story height is measured from the top of the finished floor of the ground story to the top of the finished floor of the story above.
- b. Where there is no story above, ground story height is measured from the top of the finished floor to the bottom of the roof structure above.



## B. Finished Floor Elevation

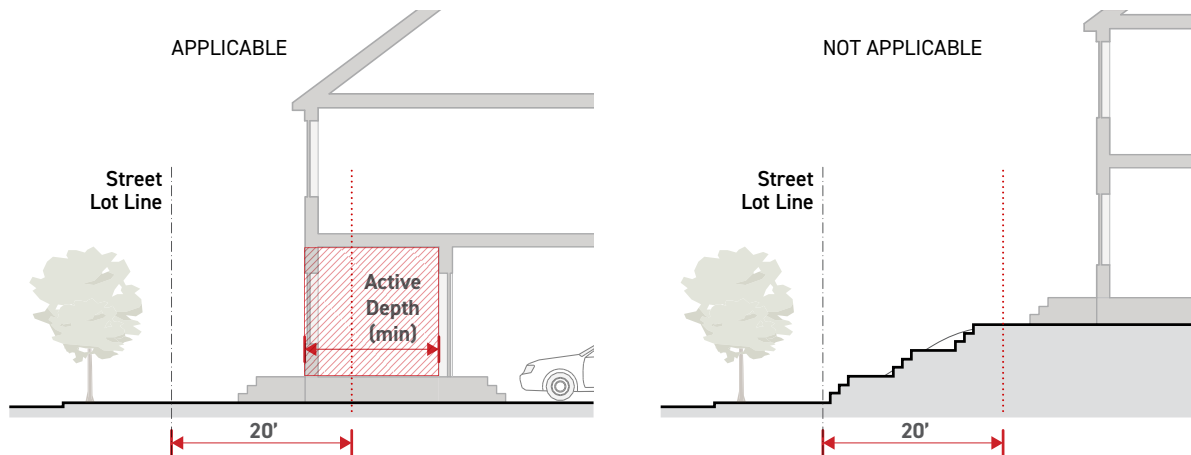
*The height of the finished floor associated with the story of a building having its finished floor elevation nearest to finished grade.*

### 1. Intent

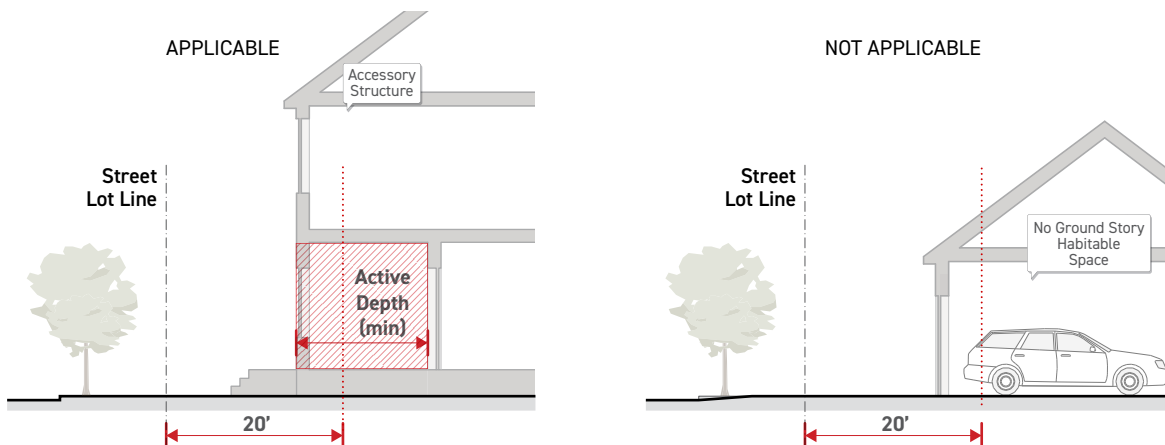
To promote “eyes” on the street, increase the perception of safety and encourage visual connections between the public realm and the exterior of a building.

### 2. Applicability

- The finished floor elevation standards apply to all buildings that contain habitable space on the ground story and that are located within 20 feet of a primary street or side street lot line.
- Where a zoning district regulates active depth, the finished floor elevation standards apply only to the required ground floor active depth.



- The finished floor elevation standards do not apply to accessory structures, unless the ground story of the accessory structure contains active spaces for a dwelling unit.



- Where a zoning district regulates finished floor elevation differently for residential and nonresidential uses, residential standards apply to all residential uses, and nonresidential standards apply to nonresidential uses.

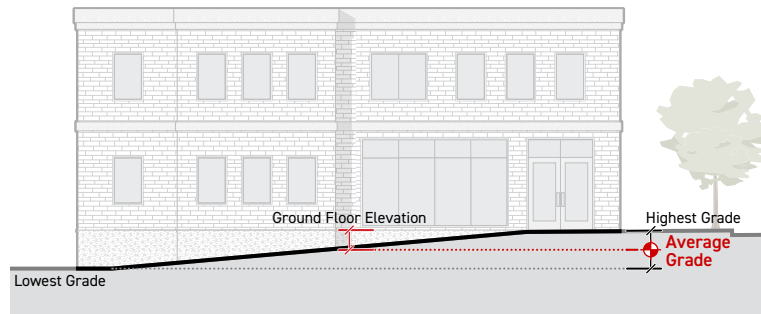
### 3. Standards

All applicable ground stories must have a finished floor surface meeting the following standards:

- a. An elevation no lower than the minimum finished floor elevation required by the zoning district.
- b. An elevation no higher than the maximum finished floor elevation required by the zoning district.

### 4. Measurement

- a. Finished floor elevation is measured from average grade to the top of the finished floor of the ground story.
- b. On corner sites, for the purpose of determining finished floor elevation, average grade must be established independently for each street-facing building facade.
- c. Average grade is measured according to **2.6.8. Massing**.



## 2.6.11. Windows

### A. Ground Story and Upper Story Transparency

*The amount of transparent area on a building facade.*

#### 1. Intent

To help provide visual interest along the public realm by encouraging visual connections between the public realm and the interior of a building.

#### 2. Applicability

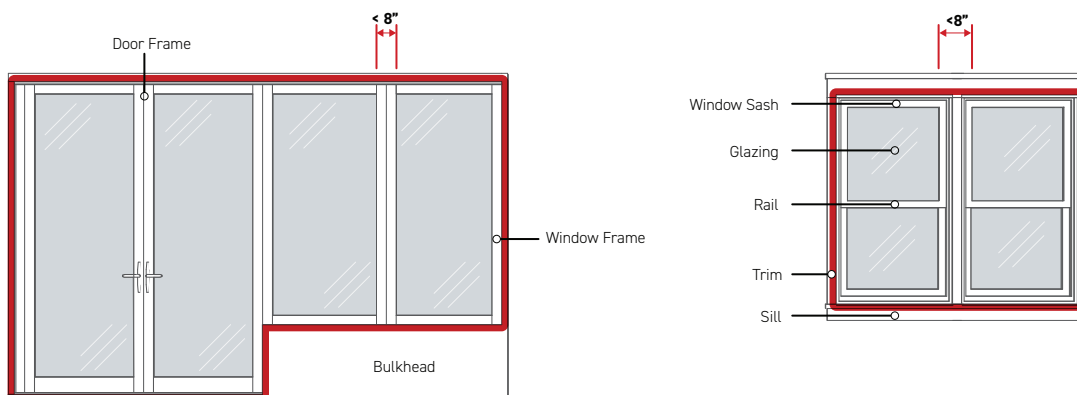
Ground story and upper story transparency standards apply to primary and side street-facing building facades only. The ground story is determined according to [2.6.8. Massing](#). Stories above the ground story are considered an upper story.

#### 3. Standards

- a. Ground and upper story building facades must meet the minimum transparency of the zoning district.
- b. To be considered transparent area, window and door glazing must meet the following requirements:

	Visible Light Transmittance	External Reflectance
<b>Ground story</b>	More than 60%	Less than 20%
<b>Upper story</b>	More than 30%	Less than 40%

- c. Muntins, mullions, window sashes, window and door frames, or window and door trim that are integral to window and door assemblies that are less than 8 inches wide may be considered transparent when calculating required percentages.

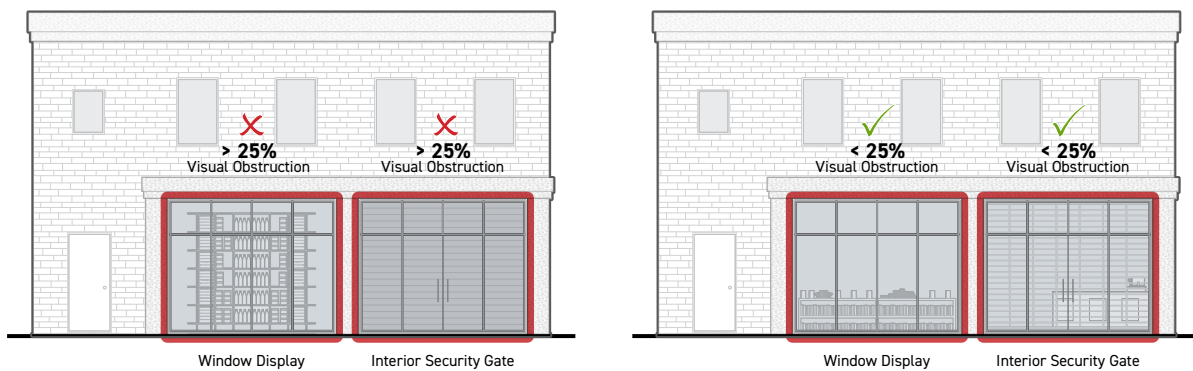


- d. Windows and doors used to meet the transparency requirements may be temporarily covered by operable window treatments, such as curtains or blinds.
- e. Windows and doors obscured by fixed exterior facade screens may count toward transparent area, provided no more than 25% of the total transparent area is covered for any individual window or door opening counting toward transparent area.

- f. Interior walls and other permanent interior visual obstructions cannot be located within 5 feet of the window or door opening used to meet the transparency requirement.



- i. Ground story windows and doors obscured by interior security gates, window signs, and window displays located less than 5 feet from the window opening may count toward transparent area, provided no more than 25% of the total transparent area is covered for any individual window or door opening counting toward transparent area.



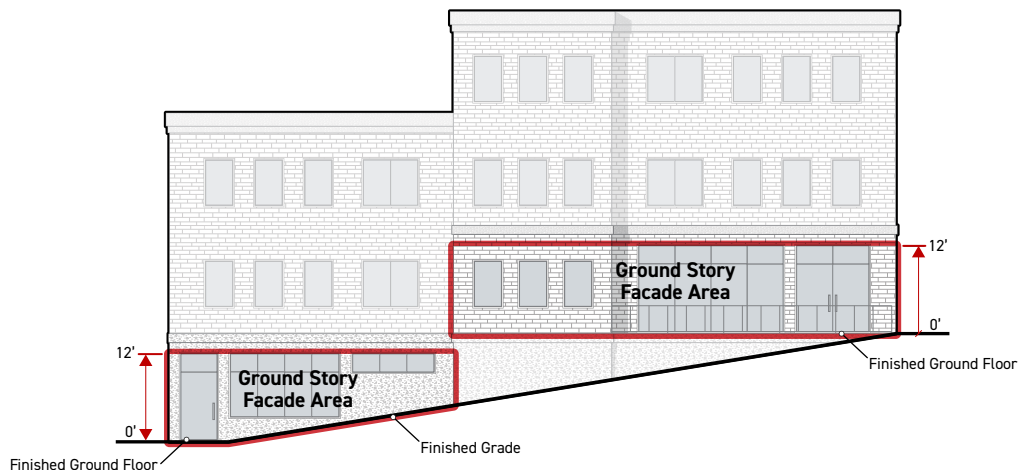


## 4. Measurement

### a. Ground Story

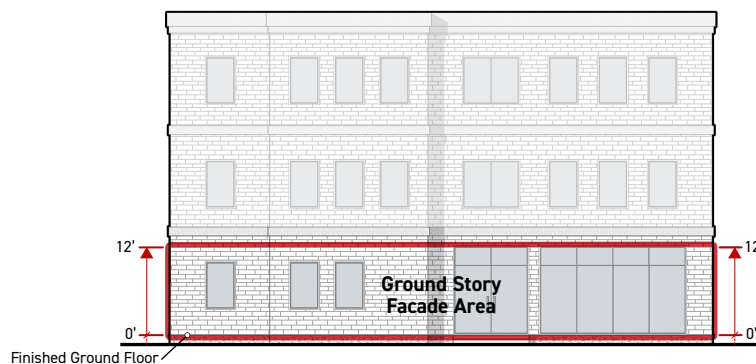
#### i. General

- a). Ground story transparency is measured as a percentage calculated as the sum of all facade area meeting the measurement requirements for transparency, divided by the total applicable facade area.
- b). No portion of a ground story located below finished grade is included in ground story facade area.



#### ii. Commercial Ground Story Transparency

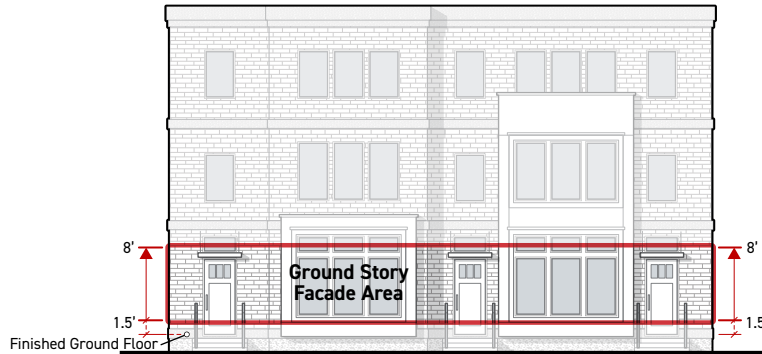
- a). For the purpose of calculating transparency, commercial ground story facade area is measured between 0 and 12 feet above the top of the ground story finished floor elevation.



- b). If the ground story height is less than 12 feet, ground story facade area is measured between the top of the finished floor of the ground story and the top of the finished floor of the story above. When there is no story above, it is measured to the bottom of the roof structure above.

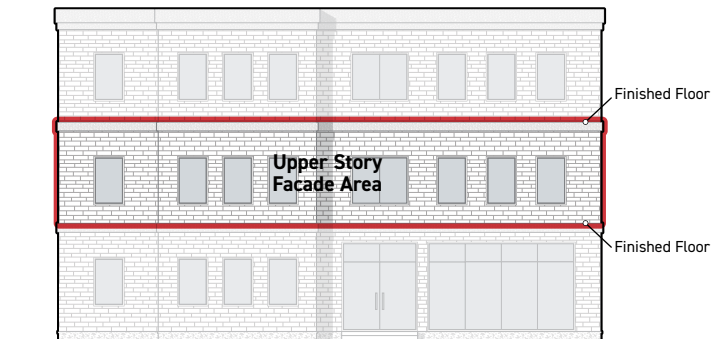
### iii. Residential and Non-Commercial Ground Floor Transparency

Ground story facade area is measured between 1.5 and 8 feet above the top of the ground story finished floor elevation.



### b. Upper Stories

- i. For the purpose of calculating upper story transparency, upper story facade area is measured as the portion of the facade area between the top of the finished floor for that story and the top of the finished floor above. When there is no story above, it is measured to the bottom of the roof structure above.



- ii. Upper story transparency is measured separately for each individual story of a building facade above the ground floor.

## B. Blank Wall Width

*The width of ground story facades and foundation walls without window or door openings.*

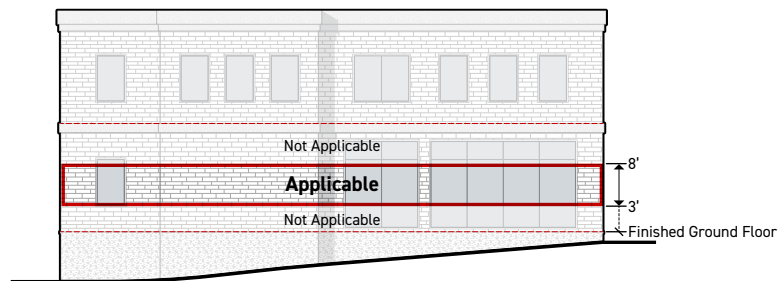
### 1. Intent

To provide visual interest and activation along the public realm by limiting the area without visual or physical connections between the public realm and the interior of a building.

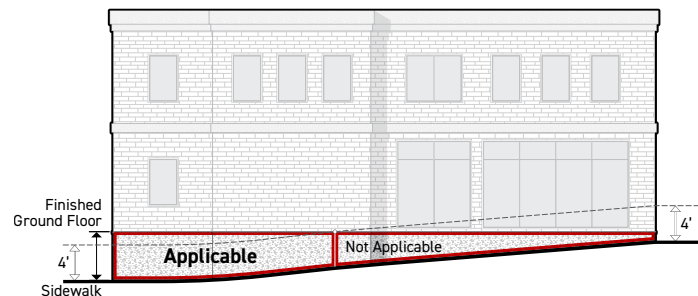
### 2. Applicability

Blank wall standards apply to the following:

- a. Street-facing facades between 3 and 8 feet from the finished floor elevation of the ground story, measured vertically.



- b. All portions of foundation walls on street-facing building facades that are exposed 4 feet in height or greater above finished grade. If foundation walls are set back more than 10 feet from a sidewalk, exposed height is measured from the lowest elevation of finished grade within 5 feet, measured from and perpendicular to the foundation wall.



### 3. Standards

#### a. General

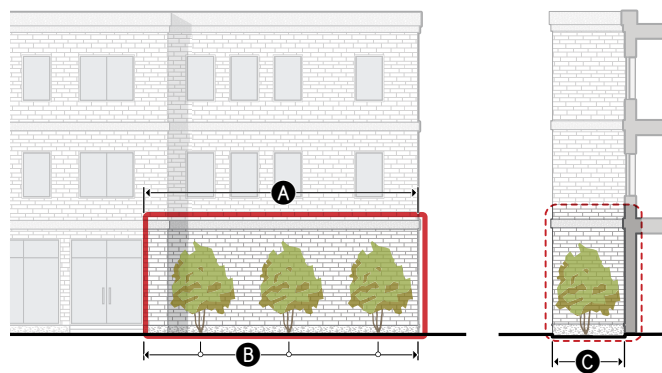
Windows and doors meeting the standards of *2.6.11.A. Ground Story and Upper Story Transparency* on ground story facades or foundation walls may be separated by a distance no greater than the maximum blank wall width specified by the zoning district.

b. Ground Story Facade Blank Wall Treatments

Ground story facades that exceed the maximum allowed blank wall width may apply one or more of the following blank wall treatments and increase the allowed blank wall width by 100%.

SMALL OR MEDIUM TREES

Small trees planted between a ground story facade with no window or door openings and the public realm.

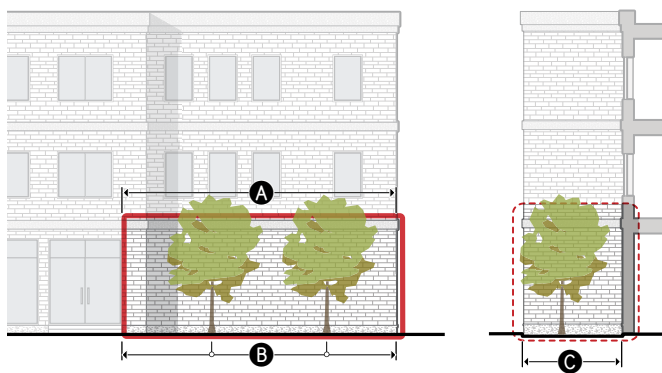


DIMENSIONAL STANDARDS

<b>A</b> Treatment width (min % of blank wall width)	100%
Tree type	Small or Medium
<b>B</b> Planting frequency (min avg.)	5 per 100'
<b>C</b> Planting area depth (min)	7'

LARGE TREES

Large trees planted between a ground story facade with no window or door openings and the public realm.



DIMENSIONAL STANDARDS

<b>A</b> Treatment width (min % of blank wall width)	100%
Tree type	Large
<b>B</b> Planting frequency (min avg.)	3 per 100'
<b>C</b> Planting area depth (min)	15'

## LIVING WALL

A permanently fixed assembly located between a ground story facade with no window or door openings and the public realm that supports plants, their growing medium, and irrigation.

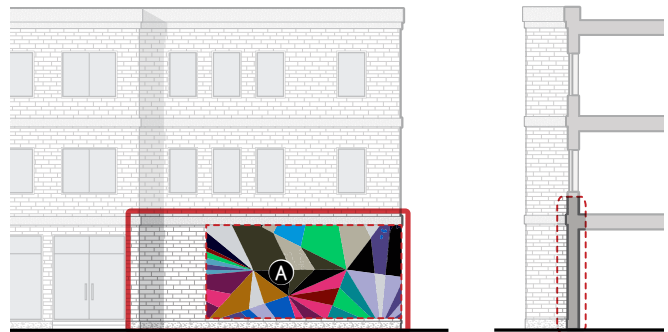


### DIMENSIONAL STANDARDS

<b>A</b> Treatment area (min % of blank facade area)	75%
---	-----

## PUBLIC ART

A noncommercial image attached to the blank wall and is sufficiently different from the building facade. Public art must be reviewed by the Zoning Administrator to confirm any mural or art display is not considered a sign.



### DIMENSIONAL STANDARDS

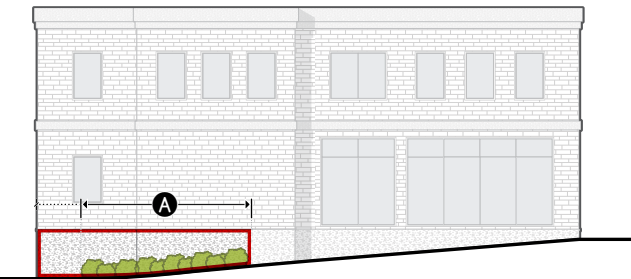
<b>A</b> Treatment area (min % of blank facade area)	75%
---	-----

**c. Blank Foundation Wall Treatments**

Foundation walls that exceed the maximum allowed blank wall width may apply one or more of the following blank foundation wall treatments and increase the allowed blank wall width by 100%.

**FOUNDATION PLANTING**

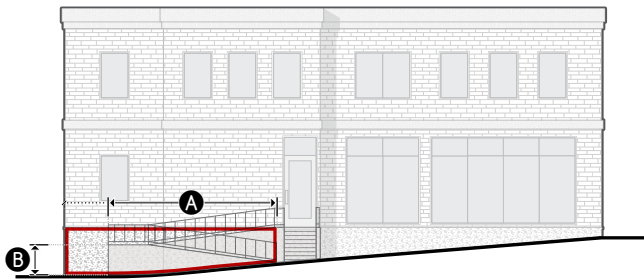
Screening plants located between a foundation wall with no window or door openings and the public realm.



DIMENSIONAL STANDARDS	
<b>A</b> Treatment width (min % of blank wall width)	75%
Plant type	Screening plant
Planting frequency (min avg.)	3 per 10'
Planting area depth (min)	3'

**PEDESTRIAN ACCESS**

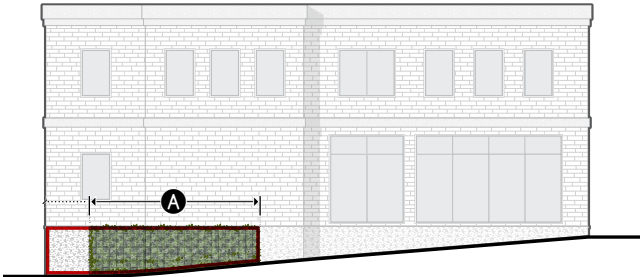
Stairs or ramps providing pedestrian access to a street-facing entrance located between a foundation wall with no window or door openings and the public realm.



DIMENSIONAL STANDARDS	
<b>A</b> Treatment width (min % of blank wall width)	75%
<b>B</b> Height above sidewalk (max)	4'

LIVING WALL

A structure permanently attached to a foundation wall with no window or door openings that supports climbing plants.

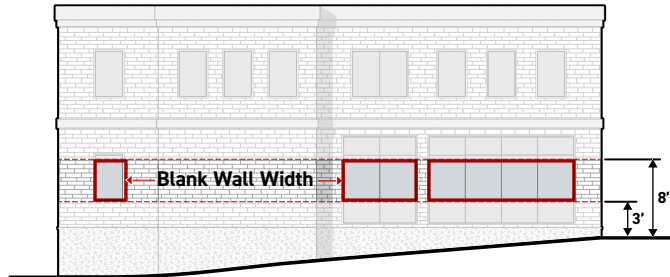


DIMENSIONAL STANDARDS		
A	Treatment area (min % of blank foundation wall area)	75%
	Planting area depth (min)	1.5'

## 4. Measurement

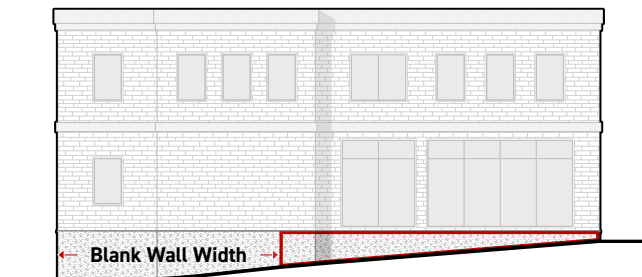
### a. Ground Story Facade Blank Wall

- i. Blank wall width is measured horizontally along a street lot line for any width of ground story facade that does not include transparency between 3 and 8 feet above finished floor elevation.
- ii. Blank wall width is measured from the edge of a window or door to the edge of an adjacent window or door, or to the edge of the building.



### b. Blank Foundation Wall Width

Blank wall width is measured horizontally and parallel to the street lot line from edge of transparent area to edge of transparent area, and edge of transparent area to edge of the foundation wall.



## 5. Blank Wall Treatments

### a. Treatment Width

Minimum treatment width is measured as a percentage, calculated as the cumulative width of blank wall treatments divided by the total length of blank wall width.

### b. Treatment Area

Minimum treatment area is measured as a percentage, calculated as the cumulative area of blank wall treatments divided by the total applicable facade area within the blank wall width.

### c. Tree Type

See [XXX. Landscaping](#) for small or medium and large tree planting requirements.



**d. Plant Type**

See **XXX. Landscaping** for screening plant planting requirements.

**e. Planting Frequency**

Planting frequency is measured as a ratio of the minimum number of plants required along the total length of the blank wall width. A minimum of one plant of the required plant type must be provided regardless of the width of blank wall treatment.

**f. Planting Area Depth**

Minimum planting area depth is measured as the horizontal dimension of growing medium at the narrowest point, measured perpendicular to the applicable street lot line. The planting area must be open to the sky for at least the required planting area depth.

**g. Height Above Sidewalk**

- i. Height above sidewalk is measured vertically from adjacent sidewalk grade to the topmost point of the blank wall treatment.
- ii. Of foundation walls located more than 10 feet from the sidewalk, maximum height above sidewalk is measured from the lowest elevation of finished grade to within 5 feet, measured from and perpendicular to the foundation wall, to the topmost point of the blank wall treatment.

**h. Foundation Wall Reveal**

Foundation wall reveal is measured vertically from the top of an inactive wall treatment to the finished floor elevation along the entire treated portion of a blank foundation wall.

## 2.6.12. Doors

### A. Street-Facing Entry Spacing

*A maximum distance between street-facing doors providing access from the public realm to the interior of a building.*

#### 1. Intent

To provide visual interest along the public realm, orient buildings to the public realm and promote greater use and activation of the public sidewalk by limiting distance without physical connections between the public realm and the interior of a building.

#### 2. Applicability

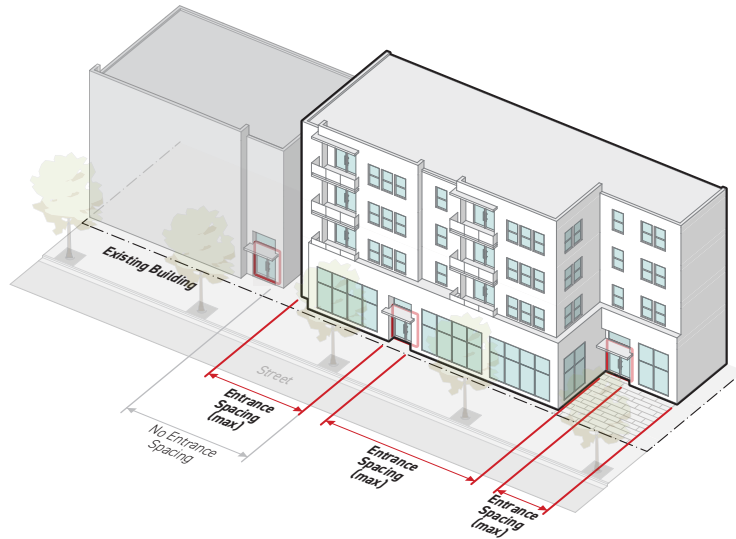
- a. Street-facing entry spacing requirements apply to all ground story street-facing facades.
- b. The maximum street-facing entry spacing requirements must be met for each building and abutting buildings on a lot or within a project site, but are not applicable to buildings unrelated to the project.
- c. Accessory structures do not have to provide a street-facing entry, and are not included in the calculation of maximum street-facing entry spacing requirement.

#### 3. Standards

- a. A street-facing entry must be provided to meet the street-facing entry spacing requirements of the zoning district.
- b. Street-facing entries must not be located farther apart than the maximum entry spacing allowed by the zoning district.
- c. To qualify as a street-facing entry, building entrances must meet the following standards:
  - i. Be located on a street-facing ground story facade;
  - ii. Provide both ingress and egress pedestrian access to the ground story of the building;
  - iii. Remain operable at all times. Access may be controlled and limited to occupants; and
  - iv. Must access an occupiable space.
- d. A primary street-facing entry is required for all buildings.
- e. A side street-facing entry is only required when the building along the side street is greater than the maximum entry spacing requirement for the zoning district.
- f. On a corner lot, an angled entry at the corner of the building where the primary and side street-facing facades meet may be used to meet the requirement for a street-facing entry along both streets.
- g. Non-required entries are allowed in addition to required entries.

## 4. Measurement

Entry spacing is measured parallel to the street lot line from the edge of a door to the edge of an adjacent door, or to the edge of the building.



## B. Entry Feature

*Improved design requirements applied to entrances along the public realm.*

### 1. Intent

To promote visual interest along the public realm, provide greater shelter and comfort to users, and highlight connections between the public and private realm to improve walkability.

### 2. Applicability

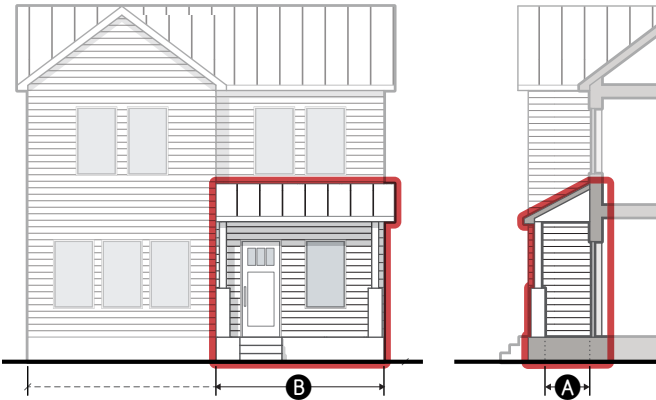
Entry feature standards apply to all required street-facing entrances where entry features are required by the zoning district.

### 3. Standards

- Each required street-facing entrance must include an entry feature meeting the standards for one of the following entry feature options.
- Required entry features must abut and provide direct access to a street-facing entrance. An entrance directly accessed from an entry feature counts as a street-facing entrance, regardless if it faces the street.
- Required entry features must provide direct access from the public realm associated with the primary or side street lot line.

PORCH

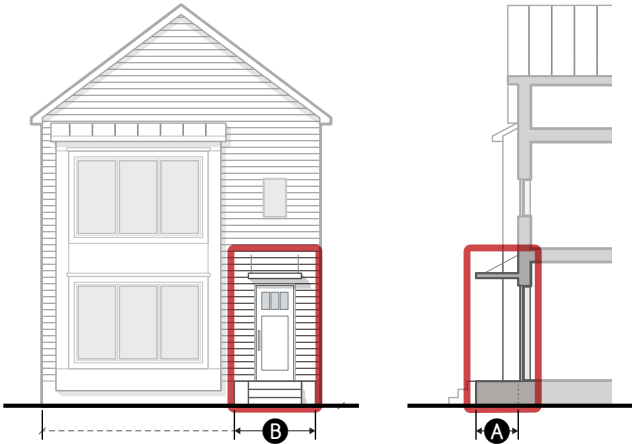
A wide, raised platform, projecting in front of a street-facing entrance, that is entirely covered but not enclosed.



DIMENSIONAL STANDARDS	
A Depth (min)	5'
B Width (min % of building width)	30%
Covered entrance	Required
Enclosed	Not allowed

RAISED ENTRY

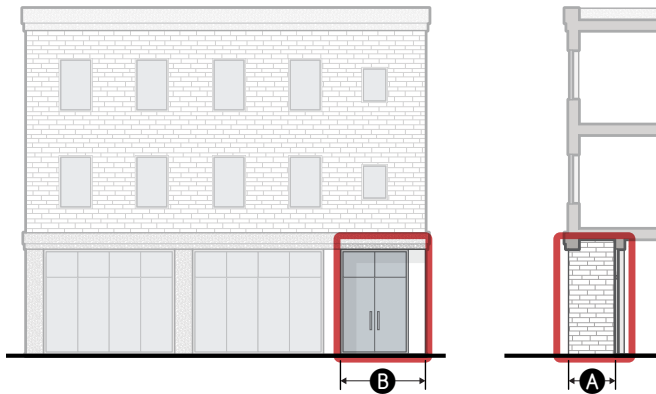
A raised platform accessed from an exterior staircase, providing covered access to a street-facing entrance.



DIMENSIONAL STANDARDS	
A Depth (min)	3'
B Width (min)	4'
Covered entrance	Required
Enclosed	Not allowed

### RECESSED ENTRY

A space set behind the primary facade plane providing sheltered access to a street-facing entrance.



DIMENSIONAL STANDARDS	
A Depth (min)	3'
B Width (min)	5'
Covered entrance	Required
Enclosed	Not allowed

### COVERED ENTRY

A space that provides sheltered access to an at-grade street-facing entrance with an overhead projecting structure.



DIMENSIONAL STANDARDS	
Depth (min)	n/a
Width (min)	n/a
Covered entrance	Required
Enclosed	Not allowed

FORECOURT

A yard screened with a short wall, fence or hedge that provides significant privacy for occupants located on the ground story, near sidewalk grade.



DIMENSIONAL STANDARDS	
A Depth (min)	8'
B Width (min)	10'
Covered entrance	Required
Fence or wall height (min/max)	2.5' / 4'
Enclosed	Not allowed

## 4. Measurement

### a. Depth

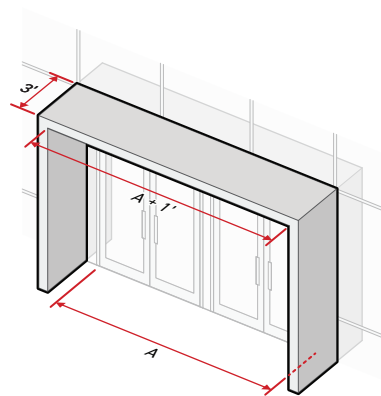
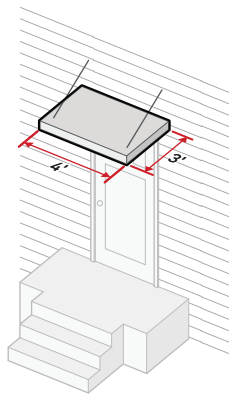
Minimum depth is measured as the horizontal dimension at the narrowest point of an entry feature, perpendicular to the applicable street lot line.

### b. Width

- i. When specified in feet, width is measured as the total width of an entry feature, measured parallel to the street lot line.
- ii. When specified as a percentage, width is measured as the total width of the entry feature divided by the total width of the building that the entry provides access to, measured parallel to the street lot line. When the calculation for an entry feature width percentage results in a fraction, the result is rounded up to the nearest whole number.

### c. Covered Entrance

- i. When required as a part of an entry feature, a canopy, roof, or other sheltering structure must cover the exterior area immediately abutting the associated street-facing entry.
- ii. The minimum depth of the covered area is 3 feet.
- iii. The minimum width of the covered area is 4 feet or the width of the street-facing entry plus 1 foot, whichever is greater.



A = Street-Facing  
Entry Width





ARTICLE 3.

# USE PROVISIONS

**Sec. 3.1. Opening Provisions . . . . .3-2**

    3.1.1. Applicability . . . . . 3-2

**Sec. 3.2. Use Permissions . . . . .3-3**

    3.2.1. Use Table Key . . . . . 3-3

    3.2.2. Allow Use Table . . . . . 3-4

**Sec. 3.3. Use Definitions . . . . .3-9**

    3.3.1. Use Interpretations . . . . . 3-9

    3.3.2. Residential Uses . . . . . 3-10

    3.3.3. Public and Institutional Uses . . . . . 3-12

    3.3.4. Commercial Uses . . . . . 3-14

    3.3.5. Manufacturing and Industrial Uses . . . . . 3-19

**Sec. 3.4. Specific Use Standards . . . . .3-22**

    3.4.1. Residential Uses . . . . . 3-22

    3.4.2. Public and Institutional Uses . . . . . 3-25

    3.4.3. Commercial Uses . . . . . 3-25

    3.4.4. Manufacturing and Industrial Uses . . . . . 3-27

**Sec. 3.5. Accessory Uses and Structures . . . . .3-28**

    3.5.1. General Standards . . . . . 3-28

    3.5.2. Specific Standards . . . . . 3-28

**Sec. 3.6. Temporary Uses and Structures . . . . .3-34**

## SEC. 3.1. OPENING PROVISIONS

### 3.1.1. Applicability

- A. Use requirements apply based on what type of project activity is proposed, as shown in the table below. Typically, more than one project activity applies (for example, an expansion of an existing use may include both an addition and a facade modification).

Cross-reference	Use Requirements	Project Activity						
		New Construction	Addition	Site Modification	Facade Modification	Change of Use	Renovation	Maintenance and Repair
Sec. 3.2.	Use Permissions	●	●	●	○	●	●	○
Sec. 3.3.	Use Definitions	●	●	●	○	●	●	○
Sec. 3.4.	Use Standards	●	●	●	○	●	●	○
Sec. 3.5.	Accessory Uses and Structures	●	●	●	○	●	●	○
Sec. 3.6.	Temporary Uses and Structures	●	●	●	○	●	●	○

● = Standards apply ○ = Standards do not apply

- B. Where a Section is listed as applying, all use requirements must be met. The standards may be modified by **Sec. XX. Nonconformities**.

**New Construction:** Any activity that includes the construction of a new building or structure. Includes relocation of an existing structure to another location on the lot, or to any other lot. Relocation of an existing structure includes any activity that lifts any portion of a building off its foundation.

**Addition:** Any expansion of an existing building or structure that is less than the footprint of the existing building or structure, up to 25,000 square feet of new floor area. Includes activity that increases the floor area or the height of an enclosed space within an existing building. Any expansion that exceeds these thresholds is considered new construction.

**Site Modification:** Any modification of an existing site that affects less than 50% of the existing site area, up to 25,000 square feet of affected site area. Any site modification that exceeds these thresholds is considered new construction.

**Facade Modification:** Any change to the exterior envelope of a building that affects more than 250 square feet of facade area. Facade modifications include changes to any of the following: the facade of a building; the amount of exterior foundation wall that is exposed above finished grade; or an architectural element including a balcony, porch, or deck attached to a facade.

**Change of Use:** Any change in use or a modification of an area designed and intended for a specific use from a previously approved use. Includes a change in the principal use of any portion of a building or lot from one to another. Includes the expansion of floor area, site area, or lot area dedicated to a use or an increase in the intensity of a use, such as an increase in seating capacity or the number of persons in care.

**Renovation:** Any modification to an existing building or structure that does not expand the building or structure and does not exceed the following: removal of up to 50% of the perimeter wall framing; removal of up to 50% of the roof framing; or removal of up to 50% of the structural members. Any modification that exceeds these thresholds is considered new construction.

**Maintenance and Repair:** Activity done to correct the deterioration, decay of, or damage to, any part of a building, structure, or lot, that does not involve a change or modification of the existing design, outward appearance or applicable zoning requirements. In-kind replacement of deteriorated or damaged parts of a building is considered maintenance and repair. Maintenance and repair includes repair of site components such as parking lots or landscaping, but does not include resurfacing of an existing parking lot. Includes any modification to meet fire, life safety, and ADA requirements.

## SEC. 3.2. **USE PERMISSIONS**

### 3.2.1. **Use Table Key**

#### **A. Allowed Uses**

- P = A by-right allowed use.
- P\* = A by-right allowed use, provided it meets the use standards in the right-hand column of the use table.

#### **B. Discretionary Allowed Uses**

- C = A use allowed only with a Conditional Use Permit - see [Sec. XX](#).
- C\* = A use allowed only with a Conditional Use Permit, provided it also meets the use standards in the right-hand column of the use table.

#### **C. Uses Not Allowed**

- = A use not allowed

## 3.2.2. Allow Use Table

Use Category Specific Use	RESIDENTIAL							MIXED USE								COMMERCIAL & INDUSTRIAL			INSTITUTIONAL & OPEN SPACE			Use Standard	
	R-C	RD-A	RD-B	RD-C	RA-A	RA-B	RA-C	RX-4	RX-6	MX-3	MX-6	MX-8	MX-13	MX-U	IX-6	IX-8	CG	IL	IH	INS	CEM		OS
RESIDENTIAL USES																							
Household Living (3.3.2.A)																							
Single-unit	P	P	P	P	P	P	P	P	P	P	P	P	-	-	P	P	P	-	-	P	-	-	
Two-unit	P	P	P	P	P	P	P	P	P	P	P	P	-	-	P	P	P	-	-	P	-	-	
Multi-unit (3 to 6 units)	-	-	-	-	-	P	P	P	P	P	P	P	-	-	P	P	P	-	-	P	-	-	
Multi-unit (7 to 12 units)	-	-	-	-	-	-	P	P	P	P	P	P	P	P	P	P	P	-	-	P	-	-	
Multi-unit (13 or more units)	-	-	-	-	-	-	-	P	P	P	P	P	P	P	P	P	P	-	-	P	-	-	
Manufactured home park	P	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	
Live-work	-	C*	C*	C*	P*	P*	P*	P*	P*	P*	P*	P*	P*	P*	P*	P*	P*	-	-	-	-	-	3.4.1.A
Group Living (3.3.2.B)																							
General group living	-	-	-	-	-	C	C	P	P	P	P	P	P	P	P	P	P	-	-	C	-	-	
Co-housing	-	-	-	-	-	P	P	P	P	P	P	P	P	P	P	P	P	-	-	-	-	-	
Senior care	-	-	-	-	-	P	P	P	P	P	P	P	P	P	P	P	P	-	-	P	-	-	
Special Needs Housing (3.3.2.C)																							
Emergency housing	P*	P*	P*	P*	P*	P*	P*	P*	P*	P*	P*	P*	P*	P*	P*	P*	P*	-	-	P*	-	-	3.4.1.B
Permanent supportive housing	P*	P*	P*	P*	P*	P*	P*	P*	P*	P*	P*	P*	P*	P*	P*	P*	P*	-	-	P*	-	-	3.4.1.B
Transitional housing	P*	P*	P*	P*	P*	P*	P*	P*	P*	P*	P*	P*	P*	P*	P*	P*	P*	-	-	P*	-	-	3.4.1.B
PUBLIC & INSTITUTIONAL USES																							
Civic (3.3.3.A)																							
General civic (up to 15,000 SF)	-	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	-	-	P	-	P	
General civic (above 15,000 SF)	-	C	C	C	C	C	C	P	P	P	P	P	P	P	P	P	P	-	-	P	-	P	
Religious assembly (up to 15,000 SF)	-	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	-	-	P	-	-	
Religious assembly (above 15,000 SF)	-	C	C	C	C	C	C	P	P	P	P	P	P	P	P	P	P	-	-	P	-	-	
Day Care (3.3.3.B)																							
General day care	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	-	-	P	-	-	
Education (3.3.3.C)																							

KEY: P Use Allowed By-Right | C Conditional Use Permit Required | \* Use Standards apply | - Use Not allowed

**USE PERMISSIONS**

Use Category Specific Use	RESIDENTIAL							MIXED USE								COMMERCIAL & INDUSTRIAL			INSTITUTIONAL & OPEN SPACE			Use Standard	
	R-C	RD-A	RD-B	RD-C	RA-A	RA-B	RA-C	RX-4	RX-6	MX-3	MX-6	MX-8	MX-13	MX-U	IX-6	IX-8	CG	IL	IH	INS	CEM		OS
General education (up to 1 acre)	-	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	-	-	P	-	-	
General education (above 1 acre)	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	P	-	-	
Business college or trade school	-	-	-	-	-	-	-	P	P	P	P	P	P	P	P	P	P	P	-	P	-	-	
College or university	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	P	-	-	
Parks and Open Space (3.3.3.D)																							
Public open space (up to 1/2 acre)	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	-	P	-	P	
Public open space (above 1/2 acre)	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	P	
Private open space	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	-	-	
Cemetery	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	P	-	
Utility Service (3.3.3.E)																							
Minor utility	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	-	P	
Major utility	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	C	C	C	-	-	
Electric/gas substation	C	C	C	C	C	C	C	P	P	P	P	P	P	P	P	P	P	P	P	P	-	C	
Wireless communications facility	P*	P*	P*	P*	P*	P*	P*	P*	P*	P*	P*	P*	P*	P*	P*	P*	P*	P*	P*	P*	-	C*	3.4.2.A
COMMERCIAL USES																							
Adult Business (3.3.4.A)																							
Adult entertainment establishment	-	-	-	-	-	-	-	-	-	-	-	-	-	P*	-	-	-	P*	P*	-	-	-	3.4.3.A
Agriculture (3.3.4.B)																							
Greenhouse or nursery	-	-	-	-	-	-	-	-	-	P	P	P	P	P	P	P	P	-	-	-	-	-	
Indoor growing system	-	-	-	-	-	-	-	P	P	P	P	P	P	P	P	P	P	-	-	-	-	-	
Urban garden	P*	P*	P*	P*	P*	P*	P	P	P	P	P	P	P	P	P	P	P	-	-	P*	-	P*	3.4.3.B
Entertainment & Recreation (3.3.4.C)																							
General indoor recreation	-	-	-	-	-	-	-	-	-	P	P	P	P	P	P	P	P	-	-	-	-	-	
General outdoor recreation	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	P	-	-	-	-	-	
General indoor entertainment	-	-	-	-	-	-	-	-	-	-	-	P	P	P	P	P	P	-	-	P	-	-	
General outdoor entertainment	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	P	-	-	P	-	-	
Golf course	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	P	
Food and Beverage (3.3.4.D)																							

KEY: P Use Allowed By-Right | C Conditional Use Permit Required | \* Use Standards apply | - Use Not allowed

**USE PERMISSIONS**

Use Category Specific Use	RESIDENTIAL							MIXED USE								COMMERCIAL & INDUSTRIAL			INSTITUTIONAL & OPEN SPACE			Use Standard	
	R-C	RD-A	RD-B	RD-C	RA-A	RA-B	RA-C	RX-4	RX-6	MX-3	MX-6	MX-8	MX-13	MX-U	IX-6	IX-8	CG	IL	IH	INS	CEM		OS
General food beverage (up to 1,500 SF)	-	C	C	C	P	P	P	P	P	P	P	P	P	P	P	P	P	P	-	-	-	-	
General food beverage (above 1,500 SF)		-	-	-	-	-	-	P	P	P	P	P	P	P	P	P	P	P	-	-	-	-	
Microbrewery, small distillery/winery	-	-	-	-	-	-	-	P	P	P	P	P	P	P	P	P	P	P	-	-	-	-	
Lodging (3.3.4.E)																							
General lodging	-	-	-	-	-	-	-	-	-	P	P	P	P	P	P	P	P	-	-	-	-	-	
Medical (3.3.4.F)																							
General medical (up to 1,500 SF)	-	C	C	C	P	P	P	P	P	P	P	P	P	P	P	P	P	P	-	P	-	-	
General medical (above 1,500 SF)	-	-	-	-	-	-	-	P	P	P	P	P	P	P	P	P	P	P	-	P	-	-	
Hospital	-	-	-	-	-	-	-	-	-	-	P	P	P	P	-	-	P	-	-	P	-	-	
Medical laboratory	-	-	-	-	-	-	-	-	-	P	P	P	P	P	P	P	P	P	-	-	-	-	
Office (3.3.4.G)																							
General office (up to 1,500 SF)	-	C	C	C	P	P	P	P	P	P	P	P	P	P	P	P	P	P	-	P	-	-	
General office (above 1,500 SF)	-	-	-	-	-	-	-	P	P	P	P	P	P	P	P	P	P	P	-	P	-	-	
Parking (3.3.4.H)																							
Surface parking lot	-	-	-	-	-	-	-	C	C	C	C	C	C	C	C	C	P	C	-	-	-	-	
Structured parking	-	-	-	-	-	-	-	P	P	-	P	P	P	P	P	P	P	P	P	P	-	-	
Personal Service (3.3.4.I)																							
General personal service (up to 1,500 SF)	-	C	C	C	P	P	P	P	P	P	P	P	P	P	P	P	P	P	-	-	-	-	
General personal service (above 1,500 SF)	-	-	-	-	-	-	-	P	P	P	P	P	P	P	P	P	P	P	-	-	-	-	
Animal care - outdoor	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	P*	P*	-	-	-	-	3.4.3.C
Retail (3.3.4.J)																							
General retail (up to 1,500 SF)	-	C	C	C	P	P	P	P	P	P	P	P	P	P	P	P	P	P	-	-	-	-	
General retail (above 1,500 SF)	-	-	-	-	-	-	-	P	P	P	P	P	P	P	P	P	P	P	-	-	-	-	
Alternative financial services	-	-	-	-	-	-	-	-	-	P	P	P	P	P	P	P	P	-	-	-	-	-	
Vape/tobacco store	-	-	-	-	-	-	-	-	-	P*	P*	P*	P*	P*	P*	P*	P*	-	-	-	-	-	3.4.3.D
Vehicle Sales and Service (3.3.4.K)																							

KEY: **P** Use Allowed By-Right | **C** Conditional Use Permit Required | **\*** Use Standards apply | **-** Use Not allowed

**USE PERMISSIONS**

Use Category Specific Use	RESIDENTIAL							MIXED USE								COMMERCIAL & INDUSTRIAL			INSTITUTIONAL & OPEN SPACE			Use Standard	
	R-C	RD-A	RD-B	RD-C	RA-A	RA-B	RA-C	RX-4	RX-6	MX-3	MX-6	MX-8	MX-13	MX-U	IX-6	IX-8	CG	IL	IH	INS	CEM		OS
Vehicle sales or rental	-	-	-	-	-	-	-	-	-	P*	P*	P*	P*	P*	P*	P*	P*	-	-	-	-	-	3.4.3.E
Vehicle service	-	-	-	-	-	-	-	-	-	P*	P*	-	-	-	P*	P*	P*	P*	P*	-	-	-	3.4.3.F
Vehicle repair	-	-	-	-	-	-	-	-	-	C*	C*	-	-	-	C*	C*	P*	P*	P*	-	-	-	3.4.3.G
Vehicle fueling station	-	-	-	-	-	-	-	-	-	C*	C*	-	-	-	C*	C*	P*	P*	-				3.4.3.H
MANUFACTURING AND INDUSTRIAL USES																							
Industrial (3.3.5.A)																							
Low impact industrial (up to 1,500 SF)	-	-	-	-	-	-	-	P	P	P	P	P	P	P	P	P	P	P	P	-	-	-	
Low impact industrial (1,501 to 5,000 SF)	-	-	-	-	-	-	-	-	-	P	P	P	P	P	P	P	P	P	P	-	-	-	
Low impact industrial (5,001 to 50,000 SF)	-	-	-	-	-	-	-	-	-	-	-	-	-	-	P	P	-	P	P	-	-	-	
Low impact industrial (50,001 to 100,000 SF)	-	-	-	-	-	-	-	-	-	-	-	-	-	-	C	C	-	P	P				
Low impact industrial (above 100,000 SF)	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	P	P				
High impact industrial	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	C	-	-	-	
Crematorium	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	P	P	-	P	-	
Resource extraction	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	C	-	-	-	
Transportation (3.3.5.B)																							
Transit stop	-	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	-	P	-	P	
Marine terminal	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	P	-	-	-	
Passenger terminal	-	-	-	-	-	-	-	-	-	-	-	-	P	P	P	P	-	-	-	P	-	-	
Railroad right-of-way	-	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	-	-	
Warehouse and Distribution (3.3.5.C)																							
General (up to 25,000 SF)	-	-	-	-	-	-	-	-	-	-	-	-	-	-	P	P	-	P	P	-	-	-	
General (25,001 to 100,000 SF)	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	C	-	P	P	-	-	-	
General (above 100,000 SF)	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	P	P	-	-	-	
Data center	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	C	C	-	-	-	
Self-service storage	-	-	-	-	-	-	-	-	-	-	P*	P*	-	P*	P	P	P	P	-	-	-	-	3.4.4.A
Truck and freight transfer terminal	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	C	C	-	-	-	
Vehicle storage yard	-	-	-	-	-	-	-	-	-	-	-	-	-	-	C	C	-	P	P	-	-	-	

KEY: P Use Allowed By-Right | C Conditional Use Permit Required | \* Use Standards apply | - Use Not allowed

**USE PERMISSIONS**

Use Category Specific Use	RESIDENTIAL							MIXED USE								COMMERCIAL & INDUSTRIAL			INSTITUTIONAL & OPEN SPACE			Use Standard		
	R-C	RD-A	RD-B	RD-C	RA-A	RA-B	RA-C	RX-4	RX-6	MX-3	MX-6	MX-8	MX-13	MX-U	IX-6	IX-8	CG	IL	IH	INS	CEM		OS	
Waste-Related (3.3.5.D)																								
General waste-related	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	C	-	-	-		
Recycling center, neighborhood	-	-	-	-	C	C	C	C	C	C	C	C	C	C	C	C	C	P	P	C	-	-		
ACCESSORY USES (3.5)																								
Accessory dwelling unit (ADU)	P*	P*	P*	P*	P*	P*	P*	P*	P*	P*	P*	P*	-	-	P*	P*	P*	-	-	P*	-	-	3.5.2.A	
Alcohol sales	-	-	-	-	P	P	P	P	P	P	P	P	P	P	P	P	P	P	-	P	-	-		
Drive-through	-	-	-	-	-	-	-	-	-	C*	C*	-	-	-	-	-	P*	P*	-	-	-	-	3.5.2.C	
Family day home	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	-	-	P	-	-		
Farmers’ market	-	-	-	-	P	P	P	P	P	P	P	P	P	P	P	P	P	-	-	P	-	-		
Home occupation	P*	P*	P*	P*	P*	P*	P*	P*	P*	P*	P*	P*	P*	P*	P*	P*	P*	-	-	P*	-	-	3.5.2.F	
Home-based business	C*	C*	C*	C*	C*	C*	C*	P*	P*	P*	P*	P*	P*	P*	P*	P*	P*	-	-	P*	-	-	3.5.2.G	
Outdoor dining	-	-	-	-	P*	P*	P*	P*	P*	P*	P*	P*	P*	P*	P*	P*	P*	P*	-	P*	-	-	3.5.2.H	
Outdoor display	-	-	-	-	-	-	-	-	-	P*	P*	P*	P*	P*	P*	P*	P*	P*	-	-	-	-	3.5.2.I	
Outdoor entertainment stage	-	-	-	-	-	-	-	C	C	C	C	C	C	C	C	C	C	-	-	-	-	-		
Outdoor storage	-	-	-	-	-	-	-	-	-	-	-	-	-	-	P*	P*	P*	P*	P*	-	-	-	3.5.2.K	
Short-term rental	P*	P*	P*	P*	P*	P*	P*	P*	P*	P*	P*	P*	P*	P*	P*	P*	P*	-	-	-	-	-	3.5.2.L	
Solar energy, small-scale	P*	P*	P*	P*	P*	P*	P*	P*	P*	P*	P*	P*	P*	P*	P*	P*	P*	P*	P*	P*	-	-	3.5.2.M	
Wind energy, small-scale	P*	P*	P*	P*	P*	P*	P*	P*	P*	P*	P*	P*	P*	P*	P*	P*	P*	P*	P*	P*	-	-	3.5.2.N	

KEY: P Use Allowed By-Right | C Conditional Use Permit Required | \* Use Standards apply | - Use Not allowed



## SEC. 3.3. **USE DEFINITIONS**

### 3.3.1. **Use Interpretations**

- A. Uses are organized by use category (such as Household Living or Group Living) and then by specific use within that category (such as Multi-Unit or Manufactured Home Park). Use categories are used to organize specific uses with similar attributes. Specific uses have permissions that determine if that use is allowed in a particular zoning district.
- B. When a proposed use is not listed, the Zoning Administrator has the responsibility for determining whether the proposed use is similar to an already listed specific use. Where a use contains a list of example uses, the uses on the list are to be considered examples, and not all-inclusive. The Zoning Administrator will first determine what use category the use is most similar to, and then determine the most similar specific use.
- C. When a proposed use is found by the Zoning Administrator not to be similar to an already listed specific use, the use is not allowed.
- D. When determining whether a proposed use is similar to a listed specific use, the Zoning Administrator considers the following criteria:
  - 1. Actual or projected characteristics of the use.
  - 2. Amount and nature of any nuisances generated by the use.
  - 3. Type, size, nature and arrangement of buildings and structures.
  - 4. Relative amount and types of sales.
  - 5. Relative number of employees and customers.
  - 6. Hours of operation.
  - 7. Number of vehicle trips generated, types of vehicles, and parking demand.
  - 8. Anticipated amount and type of outdoor storage.
  - 9. Likely impact on adjacent properties.
  - 10. Multiple principal uses are allowed on a lot when the uses are all allowed in the district and the standards for all uses on the lot may be met.

**USE DEFINITIONS**

### 3.3.2. Residential Uses

#### A. Household Living Use Category

Residential occupancy of a dwelling unit by a household. A household is considered one or more persons living together in a dwelling unit, with common access to, and common use of, all living, kitchen, and eating areas within the dwelling unit. Tenancy is arranged for 30 days or more. Household living is consolidated into the following specific uses:

##### 1. Single-Unit

One dwelling unit in a single building.

##### 2. Two-Unit

Two dwelling units in a single building.

##### 3. Multi-Unit

For a residential building, 3 or more dwelling units in a single building is considered multi-unit living. For a building with a nonresidential use, any dwelling unit located within the building is considered multi-unit living.

##### 4. Manufactured Home Park

A property that contains or is intended for the long-term location of manufactured homes that may include services and facilities for the residents.

##### 5. Live-Work

A dwelling unit within which an occupation, profession, business or enterprise is conducted in conjunction with the living space of the owner or operator of such occupation, profession, business or enterprise, and which constitutes a principal use and does not otherwise meet the definition of home occupation.

#### B. Group Living Use Category

Residential occupancy of a building by a group of people that does not meet the definition of household living. Tenancy is arranged for 30 days or more. Generally, group living facilities have a common eating area for residents and residents may receive care, training or treatment. Group living is consolidated into the following specific uses:

##### 1. General Group Living

Group living uses that provide for a variety of group living arrangements. Typical examples include boarding house, dormitory, fraternity or sorority house, monastery or convent, and single-room-occupancy (SRO) housing, and sober living.

##### 2. Co-Housing

Site or building where residents live in private homes or rooms clustered around shared indoor spaces, such as cooking or laundry facilities.

### **3. Senior Care**

Senior living with in-patient nursing care, where residents can receive on-going care and supervision. Designed for older adults who may need health care supervision, but not hospitalization. Typical examples include convalescent, nursing, or rest home, and assisted living.

## **C. Special Needs Housing Use Category**

Residential occupancy of a building or dwelling unit by more than one household by individuals with special needs, including those with physical disabilities, mental illness, substance abuse and addictions, people recently released from prison, people needing temporary accommodation due to domestic abuse or violence, as well as people experiencing homelessness. May also provide rehabilitation, social services, support, and treatment. Special needs housing is consolidated into the following specific uses:

### **1. Emergency Housing**

A property that provides, without any use and occupancy agreement or lease, but generally for a period of less than 90 days, individuals or families who lack a fixed, regular, and adequate nighttime residence a place of shelter for sleeping; individual or shared facilities for sanitary health, hygiene, and waste disposal; continuous on-site supervision; and services intended to improve health and welfare, including, but not limited to, the care and treatment of medical, mental health, and substance abuse matters; counseling and case management; assistance obtaining education, training, employment; and assistance securing food, housing, and government benefits.

### **2. Permanent Supportive Housing**

A property that provides, with a use and occupancy agreement or lease, but generally without any limits on length of stay, individuals or families who lack a fixed, regular, and adequate nighttime residence a place of shelter for sleeping; individual or shared facilities for sanitary health, hygiene, and waste disposal; continuous on-site supervision; and services intended to improve health and welfare, including, but not limited to, the care and treatment of medical, mental health, and substance abuse matters; counseling and case management; assistance obtaining education, training, employment; and assistance securing food, housing, and government benefits.

### **3. Transitional Housing**

A property that provides, with a use and occupancy agreement or lease, generally for a period of less than 24 months, individuals or families who have difficulty obtaining a fixed, regular, and adequate nighttime residence a place of shelter for sleeping; individual or shared facilities for sanitary health, hygiene, and waste disposal; and services intended to improve health and welfare, including, but not limited to, the care and treatment of medical, mental health, and substance abuse matters; counseling and case management; assistance obtaining education, training, and employment; and assistance securing food, housing, and government benefits.

**USE DEFINITIONS**

### 3.3.3. Public and Institutional Uses

#### A. Civic Use Category

Uses that provide ongoing governmental, life safety, educational, and cultural services to the general public, uses that provide meeting areas for religious practice. Civic is consolidated into the following specific uses:

##### 1. General Civic

Civic uses that provide general governmental, life safety and cultural services. Typical examples include community center, courthouse, fire station, library, municipal or government office, museum, and post office.

##### 2. Religious Assembly

A civic use that provides meeting areas for religious activities, including facilities operated by a religious group and used for educational activities. Typical examples include church, chapel, mosque, temple, and synagogue.

#### B. Day Care Use Category

Uses that provide care, protection and supervision of children or adults on a regular basis in a facility away from their primary residence, primarily during daytime hours, for less than 24 hours per day.

##### 1. General Day Care

A day care use offered to 2 or more children or adults. A regularly operating service arrangement for children or adults where, during the absence of a parent or guardian, a person or organization has agreed to assume responsibility for the supervision, protection and well-being of the person in care for less than a 24-hour period. Typical examples include adult day care, child care center, day nursery, nursery school, parent cooperative preschool, play group, or drop-in center.

#### C. Education Use Category

Uses that provide educational services to students. Education is consolidated into the following specific uses:

##### 1. General Education

Education uses that provide learning and teaching services to students. Typical examples include elementary, junior high, high school, charter school, and military/special training academy.

##### 2. Business College or Trade School

An education use that offers technical or professional training, where the courses of instruction relate primarily to vocational and technical subjects. Typical examples include health and medical trade school, cosmetology school, criminal justice school, culinary school, computer and IT school, welding trade school, HVAC school, electrician and construction trade school, and automotive technician and diesel mechanic trade schools.

### **3. College or University**

An education use that provides post-secondary education to students. Typical examples include college or university, community college, and seminary.

## **D. Parks and Open Space Use Category**

Uses that provide active or passive outdoor recreation. Typically, areas and facilities are publicly accessible and often contain recreational equipment or facilities. Parks and open space is consolidated into the following specific uses:

### **1. Public Open Space**

A parks and open use owned by the City, County, State or Federal government. Includes non-profits and conservation-related organizations that are open to the public. May include passive or active spaces. Typical examples include botanical garden, conservation area, dog park, skate park, playfield, playground, playlot, ballfield, soccer field, basketball court, swimming pool, splash pad, tennis court, golf course, recreational trail, greenway, multi-use path, plaza, square, and green.

### **2. Private Open Space**

A parks and open use held in private ownership, not owned or operated by the City, County, State or Federal government.

### **3. Cemetery**

A parks and open use that provides for the interment of human or animal remains, but does not include cremation services. Typical examples include a cemetery for earth interments, a columbarium for cinerary interments, or a mausoleum for vault interments.

## **E. Utility Use Category**

Uses that generate and distribute utility services such as electricity, gas, sewer, water, cable and internet. Utility is consolidated into the following specific uses:

### **1. Minor Utility**

Utility service uses that generally serve the immediate area in which they are located. They typically do not have on-site employees. Services may be public or privately provided. Typical examples include small facilities such as transformers, relay and booster devices; well water and sewer pump stations; stormwater retention and detention facilities; and telephone exchanges.

### **2. Major Utility**

Utility service uses that generally provides services of a regional nature that normally entail the construction of new buildings or structures. Typical examples include power generating plants and sources, electrical switching facilities, water and wastewater treatment plants, solar farms, and water towers.

**USE DEFINITIONS****3. Wireless Communications Facility**

A structure designed and constructed specifically to support an antenna array for wireless communications, which may include a self-supporting monopole, a self-supporting tower (lattice), a guy wire supported tower, and other similar structures.

**3.3.4. Commercial Uses****A. Adult Entertainment Use Category**

Adult entertainment, including adult bookstores, adult motion picture theaters, and massage parlors.

**1. Adult Entertainment Establishment**

to be inserted

**B. Agriculture Use Category**

Uses dedicated to the growing and harvesting of food crops and/or non-food crops, such as flowers and ornamental plants, for use on-site or for sale or distribution off-site or on-site. Agriculture is consolidated into the following specific uses:

**1. Greenhouse, Nursery**

An agriculture use, often a building or enclosed area, where plants are grown, propagated, and raised for later transplanting or sale, often utilizing greenhouses or other controlled environments to optimize growing conditions.

**2. Indoor Growing System**

An agriculture use for the cultivation of plants, fish, seafood, and insects. These systems may include, but are not limited to: aquaculture; aquaponics; hydroponics; entomoculture (insects) and vertical farming.

**3. Urban Garden**

An agriculture use used to grow and harvest food or non-food crops for personal or group use. An urban garden may be divided into plots for cultivation by one or more individuals and/or groups or may be cultivated by individuals and/or groups collectively.

**C. Entertainment and Recreation Use Category**

Uses that provide continuous or periodic entertainment or recreational activity. Entertainment and recreation is consolidated into the following specific uses:

**1. General Indoor Recreation**

Entertainment and recreation uses that offer active recreational activity or games of skill primarily in an indoor setting. Typical examples include arcade, axe throwing, bicycle, skateboarding, or roller-blading facility, bowling alley, escape room, go-cart track, indoor soccer or indoor sporting activity, indoor paintball, ice- or roller-skating rink, mini-golf, inflatable playground/jump house, pool hall, pickleball court, golf dome, and velodrome.

## **2. General Outdoor Recreation**

Entertainment and recreation uses that offer active recreational activity or games of skill primarily in an outdoor setting. Typical examples include amusement park, archery, baseball/softball/soccer or other athletic complex that includes outdoor playing or activity areas, bicycle, skateboarding, or roller-blading facility, horse stable, riding academy, or equestrian center, ice-skating rink, driving range, swimming pool, pickleball court, motorized go-cart track/dirt bikes/all terrain vehicles (ATVs), and water park.

## **3. General Indoor Entertainment**

Entertainment and recreation uses that draw a large number of people to events primarily in an indoor setting, such as live performances or shows, sporting events and concerts. Typical examples include arena, assembly hall, auditorium, concert hall, theater, convention center, and stadium.

## **4. General Outdoor Entertainment**

Entertainment and recreation uses that draw a large number of people to events primarily in an outdoor setting, such as live performances or shows, sporting events and concerts. Typical examples include amphitheater, drive-in theater, and outdoor stadium (including buildings with retractable roofs).

## **5. Golf Course**

A entertainment and recreation use that provides for a large landscaped area for playing golf including support facilities and buildings, but does not include a driving range.

## **D. Food and Beverage Use Category**

Uses that prepare and sell food and beverages. Food and beverage is consolidated into the following specific uses:

### **1. General Food and Beverage**

Food and beverage uses that prepare and sell food or beverage. Typical examples include restaurant, cafe, coffee or tea shop, ice cream or yogurt shop, juice or smoothie bar, bakery shop, bake shop, cake shop, cat cafe, catering facility, and commercial kitchen. Does not include an establishment primarily devoted to the serving of alcoholic beverages by the drink and in which the service of food is only incidental to the consumption of alcoholic beverages.

### **2. Microbrewery**

A food and beverage use that produces less than 30,000 barrels per year of beer, and sells directly to the consumer on-site within a retail shop, bar, tasting room, tap-room, restaurant, or other similar facility.

### **3. Small Distillery/Winery**

A food and beverage use produces less than 50,000 gallons of spirits or wine a year and sells directly to the consumer on-site within a retail shop, bar, tasting room, tap-room, restaurant, or other similar facility.

**USE DEFINITIONS****E. Lodging Use Category**

Uses with individual sleeping or living units that provide overnight accommodations to guests for short-term stays of less than 30 days. Lodging is consolidated into the following specific uses:

**1. General Lodging**

Lodging uses that provide a variety short-term stay facilities. Typical examples include hotel, motel, inn, bed and breakfast, hostel, and extended stay facility.

**2. Short-Term Rental**

Short-term rental means a room or group of rooms, all within a single dwelling unit of a dwelling use permitted in the district in which such dwelling use is located, used or intended to be used as lodging for at least one but fewer than 30 consecutive nights by the traveling public and similar transient guests in return for compensation on a daily basis.

**F. Medical Use Category**

Uses that provide medical, surgical or dental care to patients such as the diagnosis, treatment, mitigation, cure or prevention of disease. Medical is consolidated into the following specific uses:

**1. General Medical**

Medical uses that administer human health care in a non-hospital, outpatient setting. Typical examples include acute care, blood plasma donation center, birthing center, chiropractor, dentist, emergency medical office, hospital, hospice, kidney dialysis, medical or dental clinic, optician, optometrist, orthodontist, physical therapist, skilled nursing facility, surgical out-patient facility, therapeutic massage, and urgent care.

**2. Hospital**

A medical use that administers primarily in-patient, intensive, human medical or surgical care, including stand-alone emergency care services.

**3. Medical Laboratory**

A medical use conducting medical research or testing and examining of materials derived from the human body, such as fluid, tissue or cells, for the purpose of providing information on diagnosis, treatment, mitigation, cure or prevention of disease.

**G. Office Use Category**

Uses characterized by activities conducted in a private or co-working setting and generally focusing on business, professional or financial services. Office is consolidated into the following specific uses

**1. General Office**

Office uses that provide space for a variety of business, professional or financial services to be conducted. Also includes research and development of new products or for scientific research intended for manufacture, production or sale of products elsewhere and includes extensive areas of laboratory space, testing facilities, or product development space more similar to a manufacturing space. Typical examples include offices for accounting, advertising, architecture,



auditing, bookkeeping, banking, bookkeeping, consulting, counseling, design, employment, engineering, graphic design, insurance, investment, landscape architecture, law, real estate, security or technology services, web design, call center, charitable institution (not providing housing or shelter), financial services center, governmental service agency, radio and television station, recording studio, co-working.

## **H. Parking Use Category**

Uses that provide parking as a principal use. Parking is consolidated into the following specific uses:

### **1. Surface Parking Lot**

A parking use that provides parking as a principal use on a surface lot.

### **2. Structured Parking**

A parking use that provides parking as a principal use in building or structure of 2 or more floors.

## **I. Personal Service Use Category**

Uses involved in providing personal care or repair services. Personal service is consolidated into the following specific uses:

### **1. General Personal Service**

Personal service uses that provide personal care or repair services. Typical examples include; beauty, hair, tanning or nail salon; computer repair; culinary, dance, martial arts, music, or photography studio or classroom; copy center, printing, binding, lithographing, photocopying, blueprinting, mailing service, package shipping, day/health spa; laundry cleaning, pressing, and dry cleaning drop-off, laundromat; crematory services (no on-site cremation), indoor animal care (animal grooming, animal hospital, veterinary clinic, pet clinic, animal boarding and doggy day care); tailor and garment repair; gym, fitness/pilates/yoga studio, climbing gym; locksmith; body art facility (tattoos/body piercing), shoe repair; watch repair; jewelry repair; eyeglasses and hearing aid repair, and smartphone repair.

### **2. Animal Care, Outdoor**

A personal service use that provides for the care of animals primary in an outdoor setting. Typical examples include a kennel, animal boarding with outdoor kennels.

## **J. Retail Use Category**

Uses involved in the sale, lease or rent of new or used products. Retail is consolidated into the following specific uses:

### **1. General Retail**

Retail uses involved in the sale, lease or rent of new or used products. Typical examples include antiques, appliances, art supplies, art gallery, bike (and repair), books, cameras, carpet and floor coverings, crafts, clothing, computers, convenience goods, electronics, fabric, flowers, furniture, gifts or novelties, groceries, hardware, home improvement, household products, jewelry, medical supplies, music, musical instruments, office supplies, pets, pet supplies, phones, pharmaceuticals,

**USE DEFINITIONS**

plants, pottery, produce, seafood, shoes, signs, souvenirs, sporting goods, stationery, toys, vape/smoke store, new vehicle parts and accessories and video games.

**2. Alternative Financial Services**

A retail use offering high interest short-term loans or check cashing services. Also includes uses where articles of personal property may be left as security in exchange for a loan of money. Typical examples include check cashing, pawnshop, payday lending, precious metal and gem dealers, and title loan centers.

**3. Vape/Tobacco Store**

A retail use that dedicates 10% or more of its floor space or merchandise to smoking and vaping products and/or paraphernalia.

**K. Vehicle Sales and Service Use Category**

Uses that sell, rent, lease, service or repair motorcycles, scooters, passenger vehicles, commercial vehicles, recreational vehicles, and heavy equipment. Vehicle sales and service is consolidated into the following specific uses:

**1. Vehicle Sales or Rental**

A vehicle sales and service use that sells, rents or leases vehicles. Typical examples include the rental or sales of motor vehicles, heavy equipment, recreational vehicles, trailers and trucks.

**2. Vehicle Service**

A vehicle sales and service use where limited repair is conducted on vehicles – work is typically done that day and vehicles are not left overnight. Typical examples include heating and air condition repair, alignment, auto detailing, audio and alarm installation, brakes and exhaust services, batteries, new tires, emissions testing, oil and lube, minor scratch and dent repair, bed-liner installation, glass/windshield repair or replacement, suspensions, vehicle tinting, and vehicle inspections.

**3. Vehicle Repair**

A vehicle sales and service use where substantial repair is conducted on vehicles. Work is typically done over a several day period and vehicles are often left overnight. Typical examples including transmission and engine repair, and body repair and paint shops.

**4. Vehicle Fueling Station**

A vehicle sales and service use that sells and dispenses vehicle fuel, including diesel, gasoline, hydrogen, electricity, and other alternative fuels.

### 3.3.5. Manufacturing and Industrial Uses

#### A. Industrial Use Category

Uses involved in the manufacturing, processing, fabrication, packaging, or assembly of goods. Products may be finished or semi-finished and are generally made for the wholesale market, for transfer to other plants, or to order for firms or consumers. Goods are generally not displayed or sold on-site, but if so, they are a subordinate part of sales. Relatively few customers come to the site. Industrial is consolidated into the following specific uses:

##### 1. Low-Impact Industrial

- a. Industrial uses where some or all of the following characteristics are present or anticipated:
  - i. Majority of manufacturing or industrial activity takes place indoors;
  - ii. No significant heat, noise, sounds, vibrations, odors or particulates detectable off premises;
  - iii. No significant use of dangerous or harmful chemicals;
  - iv. No significant use of highly combustible or flammable materials, liquids, or gases;
  - v. No use of hazardous or explosive materials; and
  - vi. Limited or no outdoor storage.
- b. Typical examples include manufacturing, processing, fabrication, packaging or assembly of prefabricated parts, consumer electronics, jewelry, computers, optical devices or instruments, medical or surgical instruments, food and beverage products, coffee roasting, cosmetics, clothing or shoes, printed or photographic materials, signs, small automotive parts; welding shop, woodworking, cabinet makers or furniture manufacturing; metal fabrication, custom decorative shops; renewable energy equipment; exterminators; manufacturing, and brewery, winery or distillery, includes artisan production of wholesale goods; glass blowing, handcrafted small batch products.

##### 2. High-Impact Industrial

- a. Industrial uses where some or all of the following characteristics are present or anticipated:
  - i. Significant manufacturing or industrial activity takes place outdoors;
  - ii. Significant heat, noise, sounds, vibrations, odors or particulates detectable off premises;
  - iii. Significant use of dangerous or harmful chemicals;
  - iv. Significant use of highly combustible or flammable materials, liquids, or gases;
  - v. Use of hazardous or explosive materials; and
  - vi. Outdoor storage.
- b. Typical examples include lumber mill or wood product manufacturing; production of rubber, leather, clay, bone, paper, pulp, plastic, stone, or glass materials or products;

**USE DEFINITIONS**

concrete batching or asphalt mixing; production or fabrication of metals or metal products including enameling and galvanizing; manufacturing and assembly of machinery, equipment, instruments, vehicles, appliances or electronics; dipping or refinishing of furniture; fuel oil distributor; and solid fuel yard.

**3. Crematorium**

An industrial use where the bodies of the dead are cremated, including pets.

**4. Resource Extraction**

An industrial use for the extraction of minerals, including solids, such as coal and ores; liquids, such as crude and petroleum; and gases, such as natural gas. Typical examples dredging, earth extraction, sand or gravel, borrow pit, metal, sand stone, gravel clay, mining and other related processing, and stockpiling of sand, gravel, or other aggregate materials.

**B. Transportation Use Category**

Uses that facilitate the boarding, loading, arrival or departure of passengers for a variety of mobility and transportation options including trains, buses, cars and helicopters. Transportation is consolidated into the following specific uses:

**1. Transit Stop**

A transportation use where public transportation vehicles, like buses, trains, or light rail, stop to allow passengers to board and alight.

**2. Marine Terminal**

A transportation use where cargo is loaded, unloaded, stored, and transferred between boats and other modes of transportation, like trucks and trains.

**3. Passenger Terminal**

A transportation use for the pickup, drop off and interchange of passengers. Typical examples include bus terminals, multi-modal facility, rail stations, and passenger related mass transit facilities.

**4. Railroad Right-of-Way**

The full width of property owned, leased, or subject to easement for railroad track purposes, and does not include storage tracks, yards, or buildings.

**C. Warehouse and Distribution Use Category**

Uses involved in the storage or movement of goods for themselves or other entities. Goods are generally delivered to other firms or the final consumer. There is little or no on-site sales activity with customers present. Warehouse and distribution is consolidated into the following specific uses:

**1. General Warehouse and Distribution**

Warehouse and distribution uses involved in the storage, wholesale, or movement of goods for themselves or other entities. Typical examples include beer distribution, newspaper distribution, parcel and delivery service, distribution center, fulfillment center, cold storage plant, household

moving and general freight storage and warehouse. Does not include bulk storage of hazardous materials, or scrap or salvage operations. If a warehouse and distribution use is ancillary to another principal use, and has a floor area of less than 10,000 square feet, it is considered an accessory use.

## **2. Data Center**

A warehouse and distribution use primarily for the storage, management, processing, and transmission of digital data, housing computer and network equipment, systems, servers, appliances and other associated components related to digital data operations. May also include air handlers, power generators, water cooling and storage facilities, utility substations, and other associated utility infrastructure to support sustained operations at the data center.

## **3. Self-Service Storage**

A warehouse and distribution use that offers secure self-storage for household goods in individual rooms, compartments, lockers, or containers, where clients bring goods for storage and retrieve them at any time during normal business hours.

## **4. Truck and Freight Transfer Terminal**

A warehouse and distribution use for receipt, transfer, short term storage and dispatching of goods for distribution. Does not include long-term warehousing and goods do not undergo any manufacturing processes. Typical examples include containerized freight yard, inter-modal freight terminal, switching yard, trucking terminal, and shipping container storage yard.

## **5. Vehicle Storage Yard**

A warehouse and distribution use that provides storage for operable vehicles without occupants for more than 24 hours. Typical examples include towing service; taxicab, bus charter or limousine storage lot; school bus lot; recreational vehicle, trailer and boat storage; and impound lot.

## **D. Waste-Related Use Category**

Uses that receive solid or liquid wastes from others for disposal on the site or for transfer to another location, uses that collect sanitary waste, or uses that manufacture or produce goods or energy from the composting of organic material. Waste-related is consolidated into the following specific uses:

### **1. General Waste-Related**

Waste-related uses that receive nonhazardous solid or liquid wastes from others for disposal on the site or for transfer to another location. Typical examples solid waste disposal, landfill, transfer station, scrapyard, junk or salvage yard, scrap-metal processing, recycling facility including recyclable material storage, construction material recycling.

### **2. Recycling Center, Minor**

Waste-related use with a recycling operation, up to 4,000 square feet of gross floor area, conducted completely indoors or involving outdoor operations with materials stored in containers located entirely in a fenced yard.

## SEC. 3.4. **SPECIFIC USE STANDARDS**

### 3.4.1. **Residential Uses**

#### **A. Live-Work**

##### **1. General**

- a. At least 1 person engaged in the live-work unit must reside in the dwelling in which the live-work business is located as their primary place of residence.
- b. Except in a Residential District, the nonresidential activity is limited to the nonresidential uses allowed in the district.

##### **2. Residential Districts**

- a. A live-work unit cannot exceed 1,500 square feet in floor area.
- b. The nonresidential activity is limited to the following uses:
  - i. General food and beverage.
  - ii. General medical.
  - iii. General office.
  - iv. General personal service.
  - v. General retail.

#### **B. Special Needs Housing**

##### **1. Intent**

The purpose of this Section is to establish a process for review and approval of emergency, transitional, and permanent supportive housing uses in order to reduce the number of individuals and families in the City experiencing homelessness or obtaining affordable housing.

##### **2. Housing Types**

The following housing types are subject to these provisions:

- a. Emergency housing, provided through:
  - i. A building, or portion of a building;
  - ii. An assemblage of two or more tiny home units;
  - iii. A tent encampment, which means a group of small, portable tents or similar forms of shelter on a property, where each tent is intended to provide shelter for no more than 2 individuals or a family; or
  - iv. A safe parking area.
- b. Transitional housing, provided through:

- i. A building, or portion of a building; or
- ii. An assemblage of 2 or more tiny home units.
- c. Permanent supportive housing, provided through:
  - i. A building, or portion of a building; or
  - ii. An assemblage of 2 or more tiny home units.
- d. A single property may contain a combination of emergency housing, transitional housing, and permanent supportive housing uses so long as they are under common ownership and comply with the rest of the provisions of this Code.

### **3. Location**

- a. A property with an emergency housing, transitional housing, or permanent supportive housing use must be located no more than 2,640 feet from a public transit stop.
- b. A property with an emergency housing, transitional housing, or permanent supportive housing use must be located no less than 1,320 feet from any property with an emergency housing, transitional housing, or permanent supportive housing use.
- c. A property providing an emergency housing, transitional housing, or permanent supportive housing use through a building, or portion of building, can only be located in a **R-73 Multi-family Residential District, RO-2 Residential-Office District, I Institutional District, B-1 Neighborhood Business District, B-2 Community Business District, B-3 General Business District, B-4 Central Business District, OS Office-Service District, RP Research Park District, or M-1 Light Industrial District**, and subject to all other provisions of the zoning district.
- d. A property providing an emergency housing, transitional housing, or permanent supportive housing use through an assemblage of 2 or more tiny home units can only be located in a **B-3 General Business District or M-1 Light Industrial District** and is subject to all other provisions of the zoning district.
- e. A property providing an emergency housing use through a tent encampment can only be located in a **B-3 General Business District or M-1 Light Industrial District**, and is subject to all other provisions of the zoning district.
- f. A property providing an emergency housing use through a safe parking area can only be located in a **R-73 Multi-family Residential District, RO-2 Residential-Office District, I Institutional District, B-1 Neighborhood Business District, B-2 Community Business District, B-3 General Business District, B-4 Central Business District, OS Office-Service District, or M-1 Light Industrial District**, and is subject to all other provisions of the zoning district.

### **4. Capacity**

The maximum number of individuals residing in emergency housing, transitional housing, or permanent supportive housing on a property must at all times be in compliance with all applicable provisions of building, fire, health, and zoning codes.

## 5. Emergency Contact

The owner, tenant, or operator of any emergency housing, transitional housing, or permanent supportive housing use must provide the Zoning Administrator with a phone number for an individual who can be reached 24 hours a day in the event of an emergency.

## 6. Approvals

- a. Prior to the establishment of an emergency housing, transitional housing, or permanent supportive housing use, whether principal or accessory, the owner, tenant, or operator of the building, structure, or premises must obtain a certificate of zoning compliance in accordance with the conditions specified in this Section and in **Article X, Division 3 of this Chapter**.
- b. Within 7 days of receipt of the materials described in **3.4.1.B.6.D** for a certificate of zoning compliance for an emergency housing, a transitional housing, or a permanent supportive housing use, the Zoning Administrator must provide written notice of the application to:
  - i. All owners of real property within 150 feet of the applicant's property;
  - ii. The Council member representing the district in which the applicant's property is located; and
  - iii. At least one civic or neighborhood association established in accordance with applicable law that advocates for the district or area in which the applicant's property is located and of which the Zoning Administrator has actual knowledge.
- c. A Certificate of Zoning Compliance for an emergency housing use is valid for 1 year. If a property owner with a valid Certificate of Zoning Compliance for emergency housing seeks to continue the use for 1 additional year, the property owner must submit all documentation to the City, as specified in this Section, no later than 60 days prior to the date of expiration of the Certificate of Zoning Compliance to ensure timely issuance of a new Certificate of Zoning Compliance, provided property owner satisfies all other conditions for the issuance.
- d. Issuance of a Certificate of Zoning Compliance for an emergency housing, transitional housing, permanent supportive housing, or social service delivery use is subject to (i) approval by the Director of Planning and Development Review of a plan of development, in accordance with **Article X, Division 4 of this Chapter**, in the event building permits are needed to engage in such use, and (ii) submittal to the Zoning Administrator of a filing that must include, at minimum, the location and description of the following, including an operations information statement as described below:
  - i. The parcel and all buildings and structures thereon, both permanent and temporary;
  - ii. Access control points and any fencing and screening for the parcel and all buildings and structures;
  - iii. The use and occupancy of each room or space inside a building or structure, including accommodations for sleeping, accommodations for sanitary health and hygiene (e.g. sinks, toilets, latrines, showers, or washing stations); and accommodations for food preparation;
  - iv. The size of emergency ingress points, egress points, and evacuation routes;



- v. Smoke alarms, carbon monoxide alarms, and fire extinguishers; and
- vi. An operations information statement that must include, at minimum, the following:
  - a). The name of the operating entity, its articles of incorporation or similar organizational document and its bylaws, if any, and a statement of the operating entity's experience providing emergency housing, transitional housing, permanent supportive housing, or social service delivery;
  - b). Anticipated dates, days, and hours of operation;
  - c). Maximum intended number of overnight occupants, which must at all times be in compliance with all applicable provisions of building, fire, health, and zoning codes;
  - d). List of requirements for admission of occupants;
  - e). Description of each staff position, qualifications necessary for each position, and a statement of the anticipated number of staff serving in such positions;
  - f). Statement of intention, or not, to provide occupants meals, minor medical care, job counseling, substance abuse counseling, and services to help occupants transition to more permanent housing, and if so, whether provision of each will be on- or off-site; and
  - g). Statement of intention, or not, to participate in the Greater Richmond Continuum of Care coordinated entry system.

### 3.4.2. Public and Institutional Uses

#### A. Wireless Communications Facility

To be inserted

### 3.4.3. Commercial Uses

#### A. Adult Entertainment Establishment

To be inserted

#### B. Urban Garden

1. Activities and operations must be conducted between the hours of 7 AM and 9 PM.
2. Mechanized equipment similar in scale to that designed for household use must be used.
3. Use of larger mechanized equipment is not allowed; provided, however, that during the initial preparation of the land, heavy equipment can be used.
4. The on-site sale of food crops and/or non-food, ornamental crops grown on-site is allowed subject to a temporary use permit.

### **C. Animal Care (Outdoor)**

1. All facilities including cages, pens, and grooming areas, must be maintained in a completely enclosed sound proof building.
2. Outdoor yards or runs must be located at least 150 feet from a Residential District.
3. All outdoor yards or runs must be fenced for the safe confinement of animals.

### **D. Vape/Tobacco Store**

To be inserted

### **E. Vehicle Sales or Rental**

1. Vehicle displays cannot be artificially elevated above the general topography of the site.
2. No outside speaker system is allowed.
3. In MX-8, MX-13, and MX-U, the sales and leasing of motor vehicles for display must be conducted within a fully-enclosed building or within parking structure. The outdoor display and storage of vehicles for sale or rental is not allowed.

### **F. Vehicle Service**

1. The outdoor overnight storage of vehicles may be allowed in accordance with **3.5.2.K. Outdoor Storage**. Operable vehicles may be parked on-site during business hours.
2. There can be no dismantling of vehicles for salvage.
3. The storage of impounded vehicles is not allowed.
4. No outside speaker system is allowed.
5. In MX-3 and MX-6, a maximum of 2 service bay doors no more than 24 feet in width each are allowed on 2 sides of the building. Service doors must be closed except for entry and exit of motor vehicles.

### **G. Vehicle Repair**

1. The outdoor overnight storage of vehicles may be allowed in accordance with **3.5.2.K. Outdoor Storage**. Operable vehicles may be parked on-site during business hours.
2. There can be no dismantling of vehicles for salvage.
3. The storage of impounded vehicles is not allowed.
4. No outside speaker system is allowed.
5. In MX-3 and MX-6, a maximum of 2 service bay doors no more than 24 feet in width each are allowed on 2 sides of the building. Service doors must be closed except for entry and exit of motor vehicles.

## **H. Vehicle Fueling Station**

In MX-3 and MX-6, vehicle fueling stations must meet the following:

1. Must be located within 300 feet of the centerline of an intersection that includes a street from at least one of the following Street Types: Mixed Use Streets or Major Streets.
2. Hours of operation for Vehicle Fuel Sales (including gasoline and diesel fuel) can begin no earlier than 6 AM and end no later than 11 PM. Operations include all deliveries and collections. Preparation, store cleaning and inventory may be allowed during these restricted hours.
3. The total number of vehicles capable of being simultaneously fueled is 4.
4. Fuel pumps must be located a minimum of 50 feet from a Residential District.
5. All vacuuming and compression machines located outside of an enclosed building must be located at least 50 feet from a Residential District
6. Accessory car washing is only allowed if the car wash is equipped only with fully automatic wash equipment so the driver remains in their car during the entire wash process.
7. Canopies are limited to a 16 feet in height to the bottom of the underside of the canopy and a 23 feet to the top of the roof of the canopy (absent any required vent stacks).

### **3.4.4. Manufacturing and Industrial Uses**

#### **A. Self-Service Storage**

In MX-6, MX-8, and MX-U, a self-storage facility is subject to the following limitations:

1. All storage must be contained within a fully-enclosed building.
2. All storage units must be contained in a single building and accessed internally. Storage units are not allowed on the ground floor. The outdoor storage of boats, RV's or similar vehicles is not allowed.

## SEC. 3.5. **ACCESSORY USES AND STRUCTURES**

### 3.5.1. **General Standards**

#### **A. Allowed Accessory Uses and Structures**

The use table in *3.2.2. Allowed Use Table* establishes the allowed accessory uses and structures by district. Multiple accessory uses are allowed on a lot when the uses are all allowed in the district and the standards for all uses on the lot are met.

#### **B. Accessory Uses and Structures Not Listed**

An accessory use or structure not specifically listed in *3.2.2* is not allowed unless the Zoning Administrator determines the use:

1. Is clearly incidental to and customarily found in connection with an allowed principal use;
2. Is subordinate to and serving an allowed principal use;
3. Is subordinate in area, extent and purpose to the principal use served; and
4. Is located on the same lot as the principal use served.

#### **C. Rules for All Accessory Uses and Structures**

1. A building permit is required for any accessory structure more than 200 square feet in area or more than 12 feet in height.
2. An accessory structure is only allowed in a side or rear yard.
3. Unless otherwise stated below, an accessory structure must comply with the dimensional requirements of the zoning district.
4. In an R-C or RD- district, an accessory structure less than 400 square feet in area and not exceeding 12 feet in height can be located up to 2 feet from a common lot line.
5. No accessory use or structure is allowed on the lot until after the principal use or structure is approved.

### 3.5.2. **Specific Standards**

#### **A. Accessory Dwelling Unit**

An additional small dwelling unit on a lot that is detached, attached or internal to the principal structure.

1. Only one accessory dwelling unit is allowed on a lot.
2. An accessory dwelling unit cannot exceed 1,000 square feet.

#### **B. Alcohol Sales**

The sale of alcoholic beverages for on- or off-premise consumption as an accessory use to a permitted principal commercial use.

### **C. Drive-Through**

Accessory drive-through service for an allowed principal commercial use. A drive-through provides service directly to automobiles where the customer drives up to a window or mechanical device through or by which the customer is serviced without exiting the vehicle.

1. A drive-through must meet the requirements of **Sec. XX, Vehicle Use Areas**.
2. A dining room or walk-up window must also be provided with any drive-through facility and must be available to customers at all times the drive-through is operating.
3. In MX-3 and MX-6, a drive-through must meet the following additional limitations:
  - a. Only a single drive-through lane is allowed.
  - b. The drive-through lanes including stacking spaces cannot be located between a street and the building.

### **D. Family Day Care Home**

A licensed day care as an accessory use in a dwelling unit where at least 5 but fewer than 13 children under the age of 13 receive for care and supervision for periods of less than 24 hours a day, unattended by a parent or legal guardian, except children that are part of the household.

### **E. Farmers' Market**

A non-municipality-owned or -operated area, with or without temporary structures, where vendors and individuals who have raised the vegetables or produce or have taken the same on consignment for retail sale, sell vegetables or produce, flowers, orchard products, locally-produced packaged food products and/or animal agricultural products.

### **F. Home Occupation**

Limited nonresidential activity in a dwelling unit.

#### **1. General**

- a. At least 1 person engaged in the home occupation must live in the dwelling unit.
- b. No more than 1 vehicle used in association with the home occupation may be parked on-site at any one time. No vehicle with a gross vehicle weight over 10,000 pounds, associated with the home occupation, can be stored on the site.
- c. Truck deliveries or pick-ups of supplies or products associated with the home occupation are allowed only between the hours of 7 AM and 9 PM. Deliveries and pickups are limited to parcel and small freight carriers.

#### **2. Exterior Appearance**

- a. All activities associated with the home occupation must be conducted indoors, excluding activities or services that, by their nature, must be conducted off-site.
- b. A home occupation is allowed in an accessory structure on the lot.

**ACCESSORY USES AND STRUCTURES**

- c. The home occupation must operate so as not to create or cause a nuisance or subject neighbors to adverse operational or land use impacts (such as excessive noise or traffic or public safety hazards) that are not typical of the neighborhood.
- d. Interior display of goods or equipment associated with the home occupation must not be visible from the street.
- e. No equipment or process can be used in connection with the home occupation that creates noise, vibration, glare, fumes, odors, or electrical interference detectable to the normal senses, off the premises.

**3. Allowed Uses**

The nonresidential use in the dwelling unit is limited to:

- a. General food and beverage limited to catering and cooking classes only.
- b. General office.
- c. General personal service, limited to:
  - i. Individual academic, music or art instruction;
  - ii. Dance, martial arts, music, or photography studio or classroom;
  - iii. Gym, fitness/pilates/yoga studio;
  - iv. Beauty, hair and nail salon.
- d. General retail limited to web-based orders only. The operation of any retail or wholesaling business, or the direct sale or rental of products or services, are not allowed. Pick up of web-based orders is allowed.

**4. Employees and Customers**

- a. One nonresident person employed in the home occupation is allowed on-site at any given time.
- b. Two customers or clients visiting the home occupation are allowed on-site at any given time.
- c. Customer or clients associated with the home occupation may visit between the hours of 8 AM and 8 PM.
- d. A maximum of 6 customers or clients may visit the home occupation in a 24-hour period.

**G. Home-Based Business**

Nonresidential activity in a dwelling unit beyond what is allowed as a home occupation.

**1. General**

- a. A maximum of 1 home-based business is allowed per dwelling unit.
- b. At least 1 person engaged in the home occupation must live in the dwelling unit.

- c. No more than 1 vehicle used in association with the home occupation may be parked on-site at any one time. No vehicle with a gross vehicle weight over 10,000 pounds, associated with the home occupation, may be stored on the site.
- d. Truck deliveries or pick-ups of supplies or products associated with the home occupation are allowed only between the hours of 8 AM and 8 PM. Deliveries and pickups are limited to parcel and small freight carriers.

## **2. Exterior Appearance**

- a. All activities associated with the home occupation must be conducted indoors, excluding activities or services that, by their nature, must be conducted off-site.
- b. A home-based business is allowed in any accessory structure on the lot.
- c. The home-based business must operate so as not to create or cause a nuisance or subject neighbors to adverse operational or land use impacts (such as excessive noise or traffic or public safety hazards) that are not typical of the neighborhood.
- d. Interior display of goods or equipment associated with the home-based business must not be visible from the street.
- e. No equipment or process can be used in connection with the home-based business that creates noise, vibration, glare, fumes, odors, or electrical interference detectable to the normal senses, off the premises.

## **3. Allowed Uses**

The nonresidential use in the dwelling unit is limited to:

- a. General food and beverage.
- b. General medical.
- c. General office.
- d. General personal service, limited to:
  - i. Individual academic, music or art instruction;
  - ii. Dance, martial arts, music, or photography studio or classroom;
  - iii. Gym, fitness/pilates/yoga studio;
  - iv. Beauty, hair and nail salon.
- e. General retail.
- f. Artisan production of wholesale goods and handcrafted small batch products.

## **4. Employees and Customers**

- a. Up to 3 nonresident persons employed in the home-based business are allowed on-site at any given time.

**ACCESSORY USES AND STRUCTURES**

- b. 4 customers or clients visiting the home-based business are allowed on-site at any given time.
- c. Customer or clients associated with the home-based business may visit only during the hours of 8 AM and 8 PM.
- d. A maximum of 15 customers or clients may visit the home-based business in a 24-hour period.

**H. Outdoor Dining**

Accessory outdoor dining on the property of an allowed principal commercial use. Outdoor dining is in an area with tables, chairs, and other furnishings set up for the purpose of drinking or eating food and beverages.

- 1. Outdoor dining cannot encroach upon any public right-of-way except as provided in XX.
- 2. Outdoor dining cannot impair the ability of pedestrians or cyclists to use the sidewalk. There must be a minimum of 6 feet of clear distance of sidewalk at all times.
- 3. In an RA- District, cannot exceed outdoor seating for 8 people.

**I. Outdoor Display**

Accessory outdoor display of products actively available for sale on the property of an allowed principal commercial use.

- 1. Outdoor display is only allowed with an allowed ground floor nonresidential use.
- 2. Outdoor display must abut the primary facade with the principal customer entrance, cannot extend more than 6 feet from the facade and cannot exceed 6 feet in height.
- 3. Outdoor display must be removed and placed inside a building at the end of each business day.
- 4. Outdoor display cannot encroach upon any public right-of-way except as provided in XX.
- 5. Outdoor display cannot impair the ability of pedestrians or cyclists to use the sidewalk. There must be a minimum of 6 feet of clear distance of sidewalk at all times.

**J. Outdoor Entertainment Stage**

Accessory outdoor entertainment stage on the property of an allowed principal commercial use. An outdoor entertainment stage is a raised unenclosed platform that accommodates musical or theatrical shows or performances.

**K. Outdoor Storage**

Accessory outdoor storage on the property of an allowed principal nonresidential use. Outdoor Storage is the outdoor storage of merchandise, goods, inventory, materials or equipment or other items which are not intended for immediate sale or use includes contractor's equipment, used tires, fleet vehicles, trailers, storage of soil, mulch, stone, lumber, pipe, steel, concrete, wood; and vehicles waiting repair.

- 1. The amount of area dedicated to outdoor storage on a lot cannot exceed the following.



	% of lot area used for outdoor storage (max)
IX-6, IX-8	30%
CG	20%
IL	30%
IH	100%

2. Outdoor storage may be required to provide a buffer from abutting uses, [see XX](#).
3. Outdoor storage may also be required to be screened from view from streets, [see XX](#).

#### **L. Short-Term Rental**

[To be inserted](#)

#### **M. Solar Energy, Small-Scale**

[To be inserted](#)

#### **N. Wind Energy, Small-Scale**

[To be inserted](#)

## SEC. 3.6. **TEMPORARY USES AND STRUCTURES**

### 3.6.1. **Applicability**

To be inserted