

ARTICLE 2.

ZONING DISTRICTS

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SEC. 2.1. **GENERAL PROVISIONS**

2.1.1. **Zoning Districts Established**

In order to carry out the purposes and intent of this Code, the following zoning districts are established.

1. Residential Districts

R-C Residential Cottage

RD-A Residential Detached Low

RD-B Residential Detached Medium

RD-C Residential Detached High

RA-A Residential Attached Low

RA-B Residential Attached Medium

RA-C Residential Attached High

2. Mixed Use Districts

RX-4 Residential Mixed Use 4

RX-6 Residential Mixed Use 6

MX-4 Mixed Use 4

MX-6 Mixed Use 6

MX-8 Mixed Use 8

MX-13 Mixed Use 13

MX-U Mixed Use Unlimited

IX-6 Industrial Mixed Use 6

IX-8 Industrial Mixed Use 8

3. Commercial and Industrial Districts

CG Commercial General

IL Industrial Light

IH Industrial Heavy

4. Institutional and Open Space Districts

INS Institutional

OS Open Space

CEM Cemetery

SEC. 2.2. RESIDENTIAL DISTRICTS

2.2.1. Summary of Districts

A. R-C Residential Cottage

Allows for clusters of small detached houses that could include manufactured and tiny home parks, and cottage courts on a site no less than 20,000 square feet in area.



B. RD-A Residential Detached Low

Allows up to 2 units and an accessory dwelling unit on a lot no less than 90 feet in width, includes single-family detached, duplexes, and accessory dwelling units.



C. RD-B Residential Detached Medium

Allows up to 2 units and an accessory dwelling unit on a lot no less than 50 feet in width, includes single-family detached, duplexes, and accessory dwelling units.



D. RD-C Residential Detached High

Allows up to 2 units and an accessory dwelling unit on a lot no less than 25 feet in width, includes single-family detached, duplexes, and accessory dwelling units.



E. RA-A Residential Attached Low

Allows up to 2 units and an accessory dwelling unit in a building, includes single-family detached, single-family attached, duplexes, rowhouses, and accessory dwelling units.



F. RA-B Residential Attached Medium

Allows up to 6 units in a building, includes single-family detached, duplexes, single-family attached, rowhouses, and multiplexes. Also allows limited ground floor commercial.



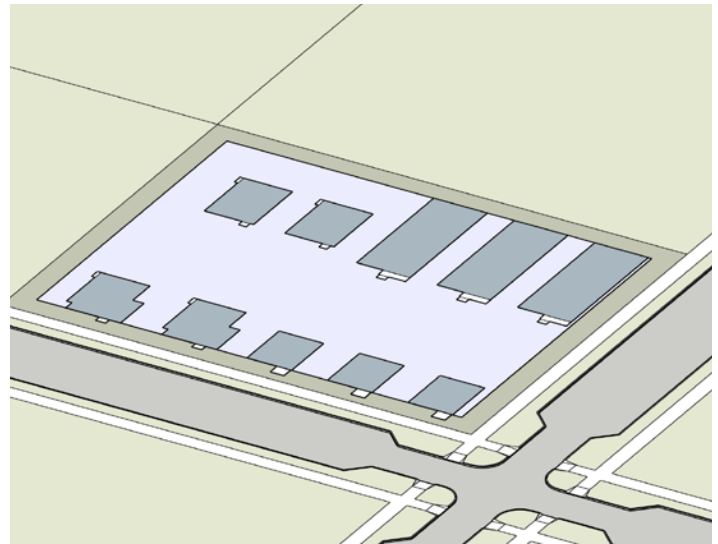
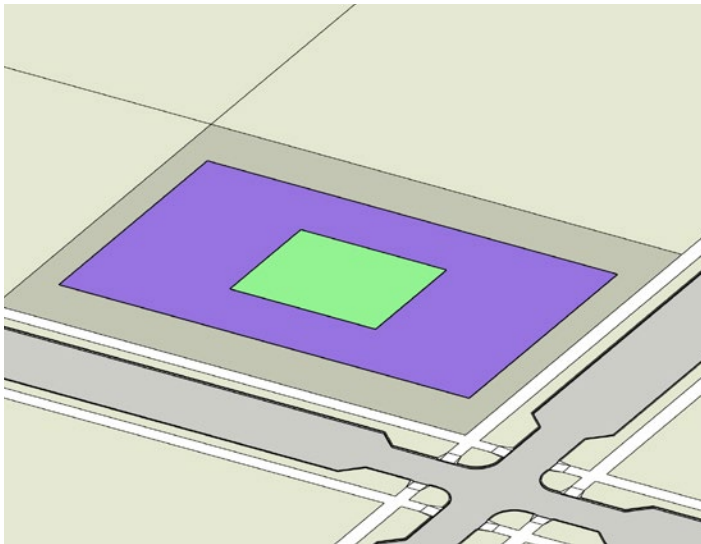
G. RA-C Residential Attached High

Allows up to 12 units in a building, includes single-family detached, single-family attached, duplexes, rowhouses, stacked townhouses, multiplexes, and apartments. Also allows limited ground floor commercial.



2.2.2. **R-C** RESIDENTIAL COTTAGE

A. Lot Standards



1. Lot Size	
A Lot area (min)	20,000 SF
B Lot width (min)	100'
2. Dwelling Units	
Dwelling units per building (max)	1
3. Coverage	
C Building coverage (max)	60%
D Amenity space (min)	10%

4. Building Setbacks	
E Primary street (min)	10'
F Side street (min)	10'
G Side (min)	10'
H Rear (min)	10'
Alley	3' or 20' min
5. Build-to	
Primary street (min)	n/a
Side street (min)	n/a
6. Parking Location	
Parking between building & street	Allowed

B. Building Standards

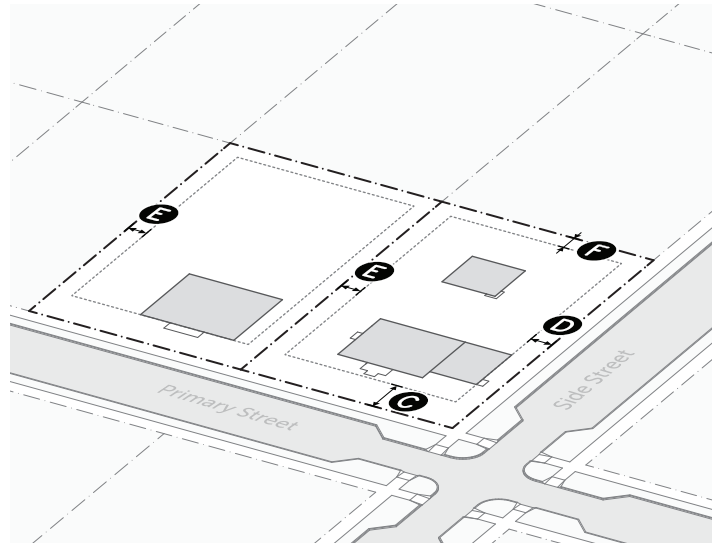
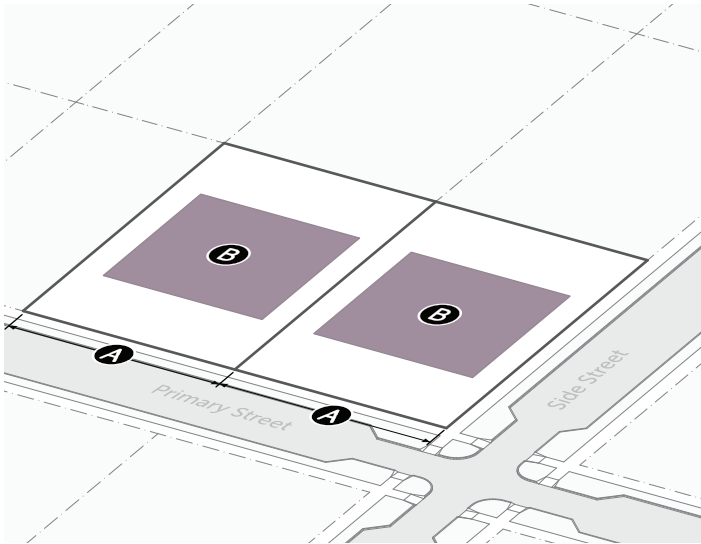


1. Massing	
Ⓐ Building height (max)	1.5 stories / 18'
Building width (max)	n/a
Building floor area (max)	1,200 SF
2. Active Depth	
Primary street (min)	n/a
Side street (min)	n/a
3. Ground Story	
Ground story height (min)	n/a
Finished floor elevation (min/max)	n/a

	Primary St.	Side St.
4. Windows		
Ground story (min)	n/a	n/a
Upper story (min)	n/a	n/a
Blank wall width (max)	n/a	n/a
5. Doors		
Street-facing entry spacing (max)	n/a	n/a

2.2.3. **RD-A** RESIDENTIAL DETACHED LOW

A. Lot Standards

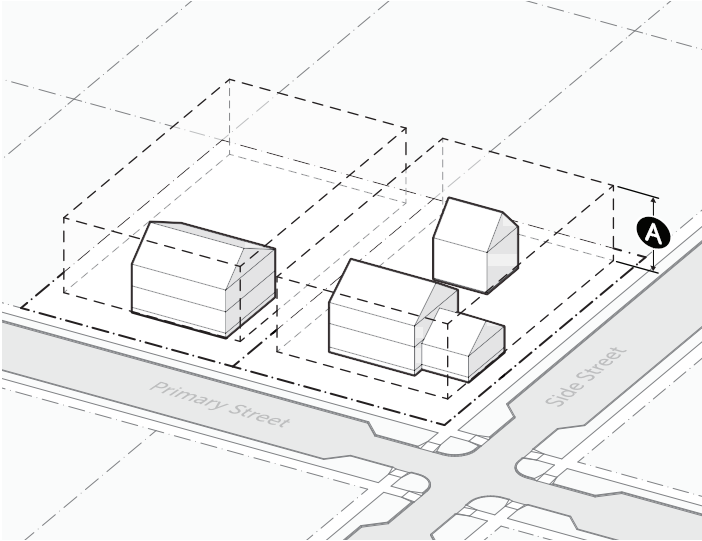


1. Lot Size	
A Lot width (min)	90'
2. Dwelling Units	
Dwelling units per lot (max)	2 plus ADU
3. Coverage	
B Building coverage (max)	40%
Amenity space (min)	n/a

4. Building Setbacks	
C Primary street (min)	20' or existing range
D Side street (min)	10'
E Side (min)	9'
F Rear (min)	9'
Alley	3' or 20' min
5. Build-to	
Primary street (min)	n/a
Side street (min)	n/a
6. Parking Location	
Parking between building & street	Allowed

RD-A

B. Building Standards



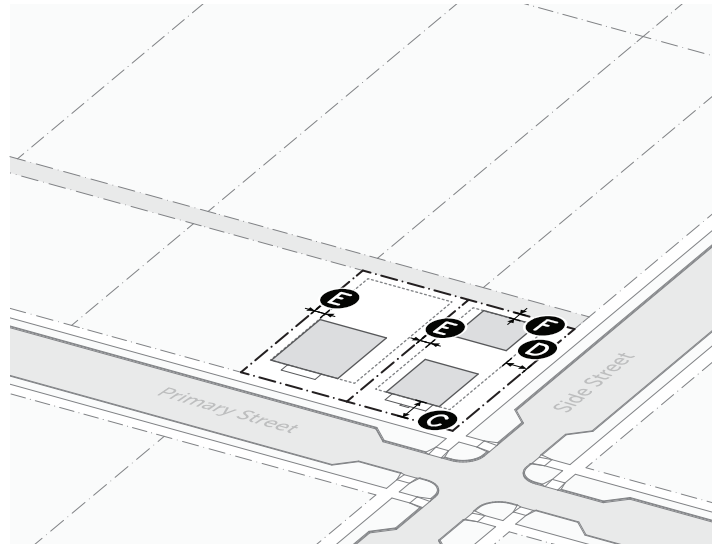
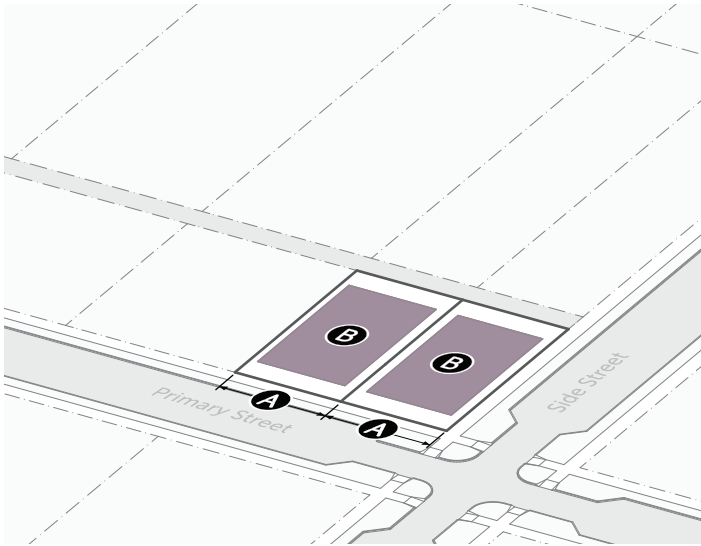
1. Massing	
Ⓐ Building height (max)	3 stories/35'
Building width (max)	n/a
2. Active Depth	
Primary street (min)	n/a
Side street (min)	n/a
3. Ground Story	
Ground story height (min)	n/a
Finished floor elevation (min/max)	n/a



	Primary St.	Side St.
4. Windows		
Ground story (min)	n/a	n/a
Upper story (min)	n/a	n/a
Blank wall width (max)	n/a	n/a
5. Doors		
Street-facing entry spacing (max)	n/a	n/a

2.2.4. **RD-B** RESIDENTIAL DETACHED MEDIUM

A. Lot Standards

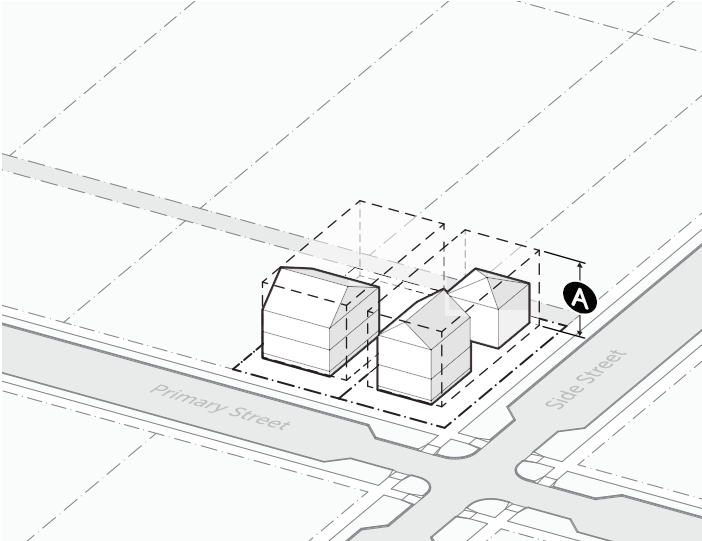


1. Lot Size	
Ⓐ Lot width (min)	50'
2. Dwelling Units	
Dwelling units per lot (max)	2 plus ADU
3. Coverage	
Ⓑ Building coverage (max)	60%
Amenity space (min)	n/a

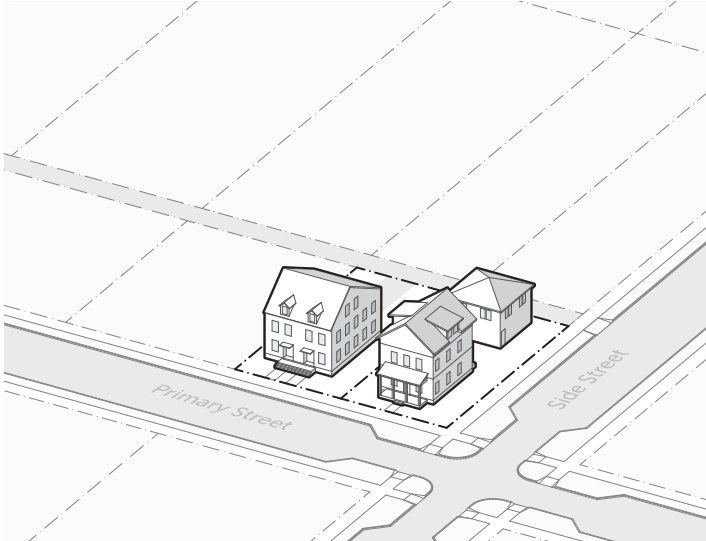
4. Building Setbacks	
Ⓒ Primary street (min)	15' or existing range
Ⓓ Side street (min)	10'
Ⓔ Side (min)	5'
Rear (min)	5'
Ⓕ Alley	3' or 20' min
5. Build-to	
Primary street (min)	n/a
Side street (min)	n/a
6. Parking Location	
Parking between building & street	Allowed

RD-B

B. Building Standards



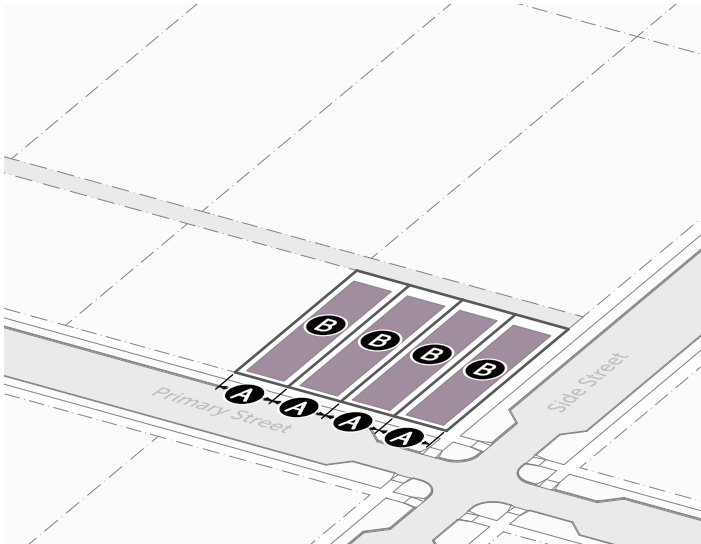
1. Massing	
Ⓐ Building height (max)	3 stories/35'
Building width (max)	n/a
2. Active Depth	
Primary street (min)	n/a
Side street (min)	n/a
3. Ground Story	
Ground story height (min)	n/a
Finished floor elevation (min/max)	n/a



	Primary St.	Side St.
4. Windows		
Ground story (min)	n/a	n/a
Upper story (min)	n/a	n/a
Blank wall width (max)	n/a	n/a
5. Doors		
Street-facing entry spacing (max)	n/a	n/a

2.2.5. **RD-C** RESIDENTIAL DETACHED HIGH

A. Lot Standards

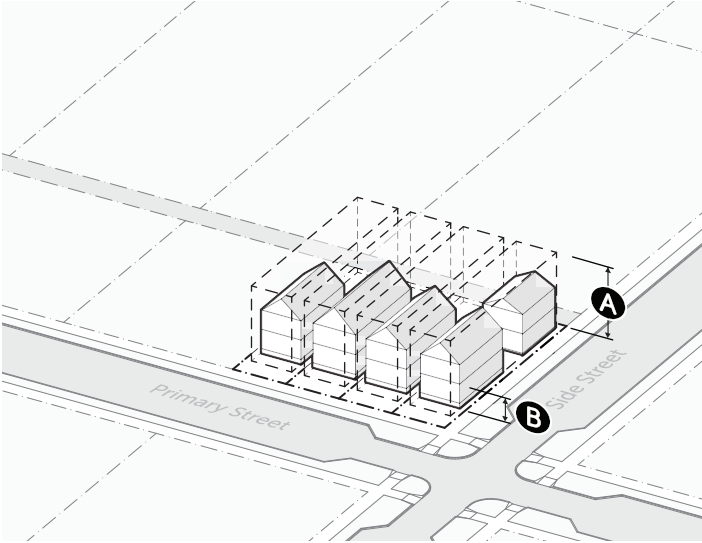


1. Lot Size	
Ⓐ Lot width (min)	25'
2. Dwelling Units	
Dwelling units per lot (max)	2 plus ADU
3. Coverage	
Ⓑ Building coverage (max)	75%
Amenity space (min)	n/a

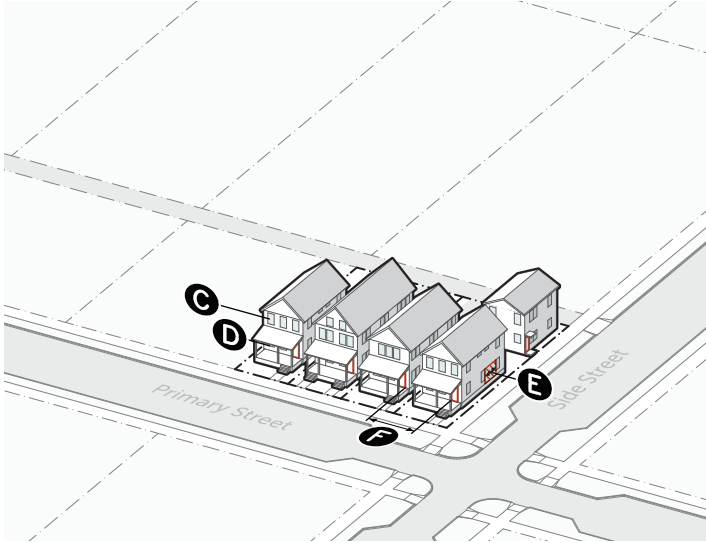
4. Building Setbacks	
Ⓒ Primary street (min)	10' or existing range
Ⓓ Side street (min)	3'
Ⓔ Side (min)	3'
Rear (min)	3'
Ⓕ Alley	3' or 20' min
5. Build-to	
Primary street (min)	n/a
Side street (min)	n/a
6. Parking Location	
Parking between building & street	Not allowed

RD-C

B. Building Standards



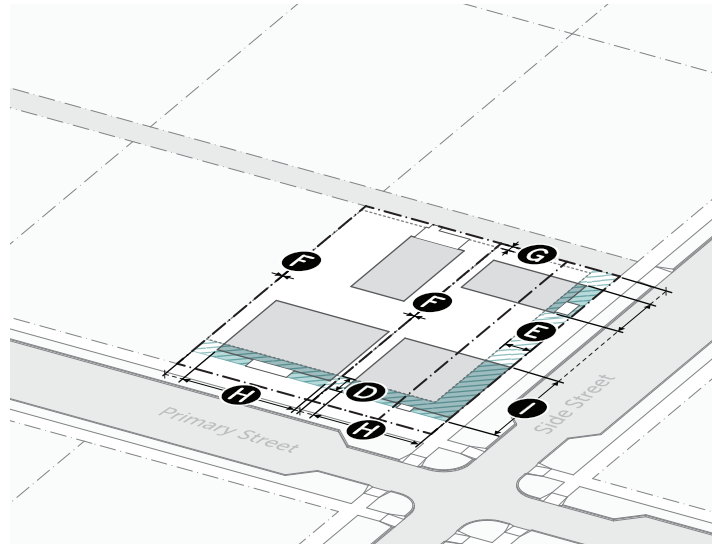
1. Massing	
Ⓐ Building height (max)	3 stories/35'
Building width (max)	n/a
2. Active Depth	
Primary street (min)	n/a
Side street (min)	n/a
3. Ground Story	
Ⓑ Ground story height (min)	10'
Finished floor elevation (min/max)	0'/4'



	Primary St.	Side St.
4. Windows		
Ⓒ Ground story (min)	20%	15%
Ⓓ Upper story (min)	15%	15%
Ⓔ Blank wall width (max)	15'	20'
5. Doors		
Ⓕ Street-facing entry spacing (max)	50'	n/a

2.2.6. **RA-A** RESIDENTIAL ATTACHED LOW

A. Lot Standards

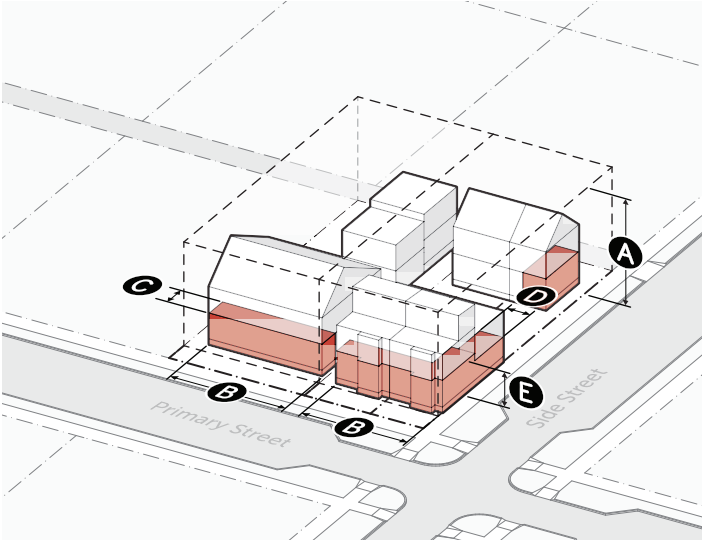


1. Lot Size	
Ⓐ Lot width (min)	0'
2. Dwelling Units	
Dwelling units per building (max)	2 plus ADU
3. Coverage	
Ⓑ Building coverage (max)	80%
Ⓒ Amenity space (min)	10%

4. Building Setbacks	
Ⓓ Primary street (min/max)	10'/20' or existing range
Ⓔ Side street (min/max)	0'/10'
Ⓕ Side (min)	0'
Rear (min)	0'
Ⓖ Alley	3' or 20' min
5. Build-to	
Ⓗ Primary street (min)	70%
Ⓘ Side street (min)	35%
6. Parking Location	
Parking between building & street	Not allowed

RA-A

B. Building Standards



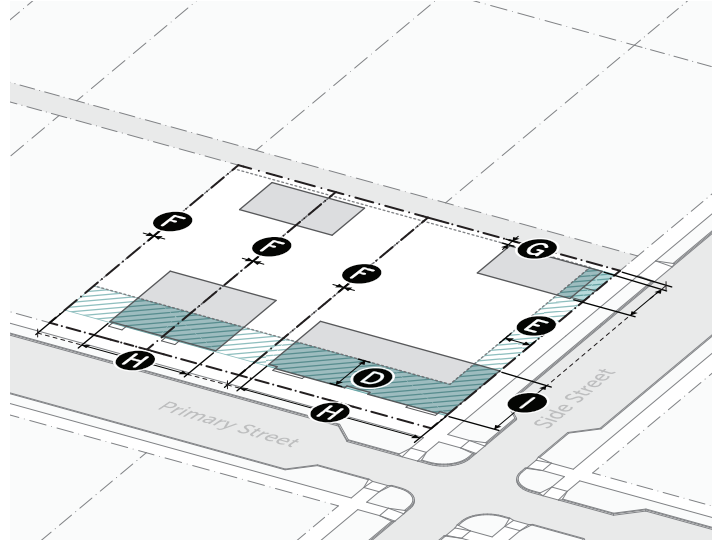
1. Massing	
Ⓐ Building height (max)	3 stories /40'
Ⓑ Building width (max)	75'
2. Active Depth	
Ⓒ Primary street (min)	9'
Ⓓ Side street (min)	9'
3. Ground Story	
Ⓔ Ground story height (min)	10'
Finished floor elevation (min/max)	0'/4'



	Primary St.	Side St.
4. Windows		
Ⓕ Ground story (min)	20%	15%
Ⓖ Upper story (min)	15%	15%
Ⓗ Blank wall width (max)	15'	20'
5. Doors		
Ⓘ Street-facing entry spacing (max)	50'	n/a

2.2.7. **RA-B** RESIDENTIAL ATTACHED MEDIUM

A. Lot Standards

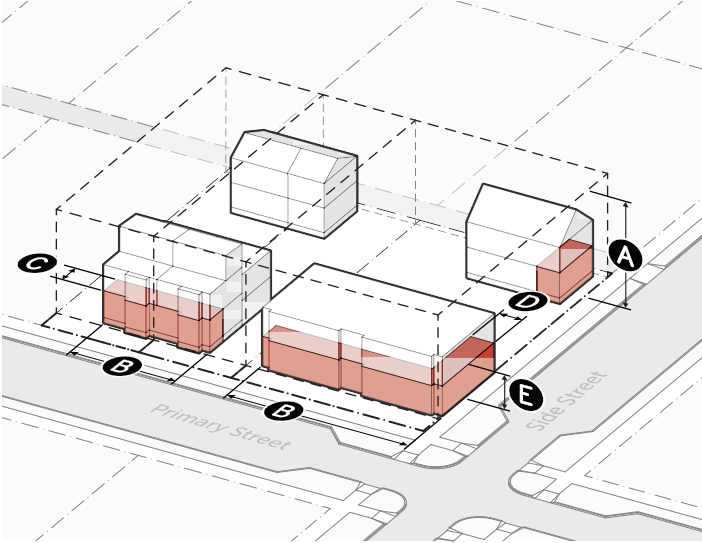


1. Lot Size	
Ⓐ Lot width (min)	0'
2. Dwelling Units	
Dwelling units per building (max)	6
3. Coverage	
Ⓑ Building coverage (max)	80%
Ⓒ Amenity space (min)	10%

4. Building Setbacks	
Ⓓ Primary street (min/max)	10'/20' or existing range
Ⓔ Side street (min/max)	0'/10'
Ⓕ Side (min)	0'
Rear (min)	0'
Ⓖ Alley	3' or 20' min
5. Build-to	
Ⓗ Primary street (min)	70%
Ⓘ Side street (min)	35%
6. Parking Location	
Parking between building & street	Not allowed

RA-B

B. Building Standards



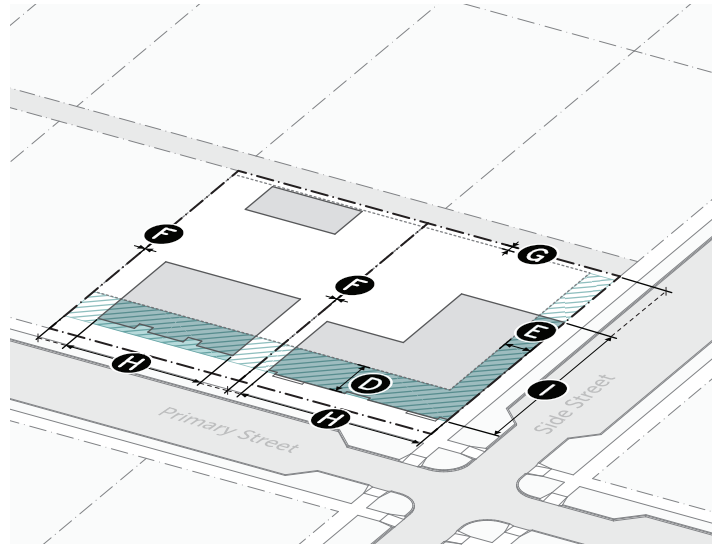
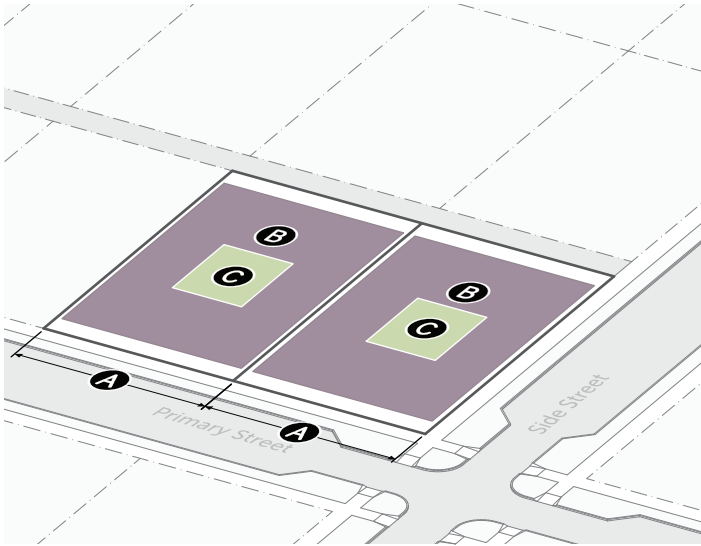
1. Massing	
A Building height (max)	3 stories/40'
B Building width (max)	100'
2. Active Depth	
C Primary street (min)	9'
D Side street (min)	9'
3. Ground Story	
E Ground story height (min)	10'
Finished floor elevation (min/max)	0'/4'



	Primary St.	Side St.
4. Windows		
F Ground story (min)	20%	15%
G Upper story (min)	15%	15%
H Blank wall width (max)	15'	20'
5. Doors		
I Street-facing entry spacing (max)	75'	n/a

2.2.8. RA-C RESIDENTIAL ATTACHED HIGH

A. Lot Standards

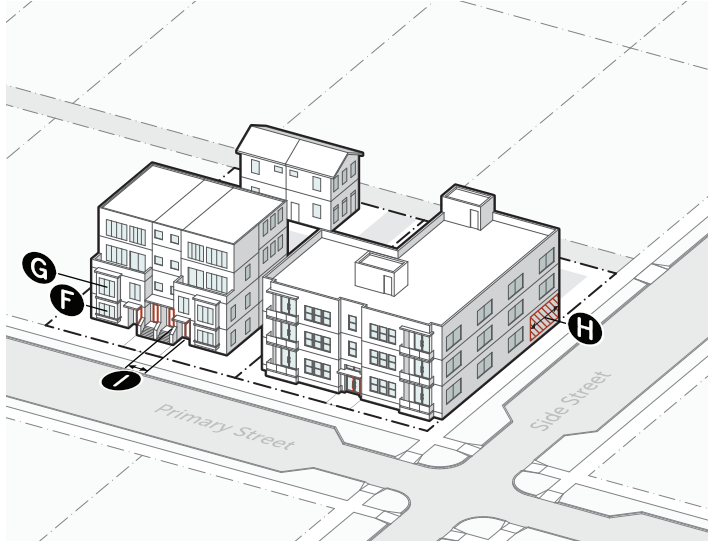
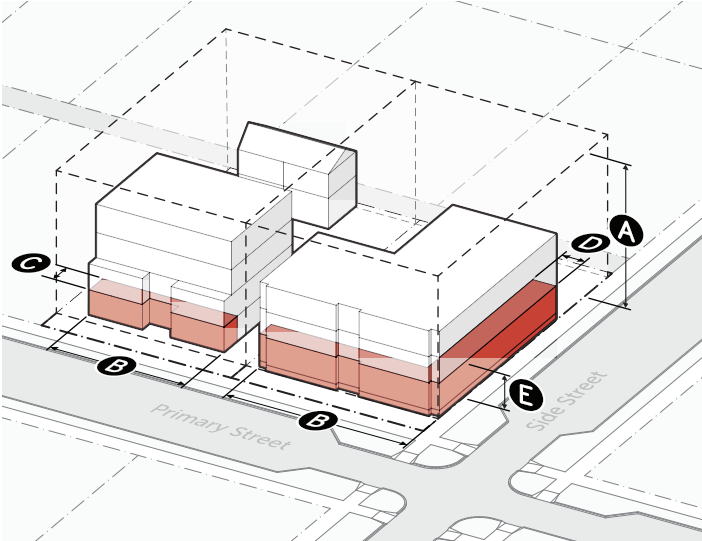


1. Lot Size	
Ⓐ Lot width (min)	0'
2. Dwelling Units	
Dwelling units per building (max)	12
3. Coverage	
Ⓑ Building coverage (max)	80%
Ⓒ Amenity space (min)	10%

4. Building Setbacks	
Ⓓ Primary street (min/max)	10'/20' or existing range
Ⓔ Side street (min/max)	0'/10'
Ⓕ Side (min)	0'
Rear (min)	0'
Ⓖ Alley	3' or 20' min
5. Build-to	
Ⓗ Primary street (min)	70%
Ⓘ Side street (min)	35%
6. Parking Location	
Parking between building & street	Not allowed

RA-C

B. Building Standards



1. Massing	
A Building height (max)	4 stories/55'
B Building width (max)	125'
2. Active Depth	
C Primary street (min)	9'
D Side street (min)	9'
3. Ground Story	
E Ground story height (min)	10'
Finished floor elevation (min/max)	0'/4'

	Primary St.	Side St.
4. Windows		
F Ground story (min)	20%	15%
G Upper story (min)	15%	15%
H Blank wall width (max)	15'	20'
5. Doors		
I Street-facing entry spacing (max)	75'	n/a

SEC. 2.3. MIXED USE DISTRICTS

2.3.1. Summary of Districts

A. RX-4 Residential Mixed Use 4

Allows up to a 4-story residential building, includes single-family detached, single-family attached, duplexes, rowhouses, stacked townhouses, multiplexes, and apartments. Also allows ground floor commercial.



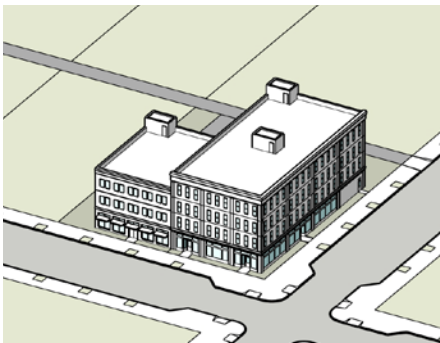
B. RX-6 Residential Mixed Use 6

Allows up to a 6-story residential building, includes single-family attached, duplexes, rowhouses, stacked townhouses, multiplexes, and apartments. Also allows ground floor commercial.



C. MX-4 Mixed Use 4

Allows up to a 4-story residential, commercial or mixed use building.



D. MX-6 Mixed Use 6

Allows up to a 6-story residential, commercial or mixed use building. Also includes rowhouses, stacked townhouses, multiplexes, and apartments.



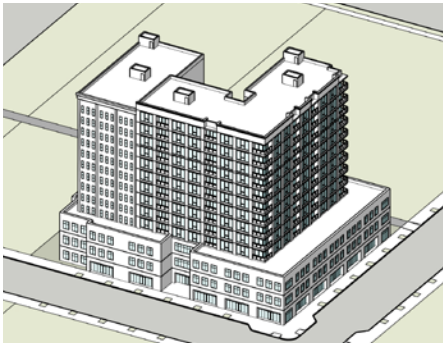
E. MX-8 Mixed Use 8

Allows up to an 8-story residential, commercial or mixed use building. Also includes rowhouses, stacked townhouses, multiplexes, and apartments.



F. MX-13 Mixed Use 13

Allows up to a 13-story residential, commercial or mixed use building.



G. MX-U Mixed Use Unlimited

Allows an unlimited in height residential, commercial or mixed use building.



H. IX-6 Industrial Mixed Use 6

Allows up to a 6-story residential, commercial, light industrial or mixed use building. Also includes rowhouses, stacked townhouses, multiplexes, and apartments



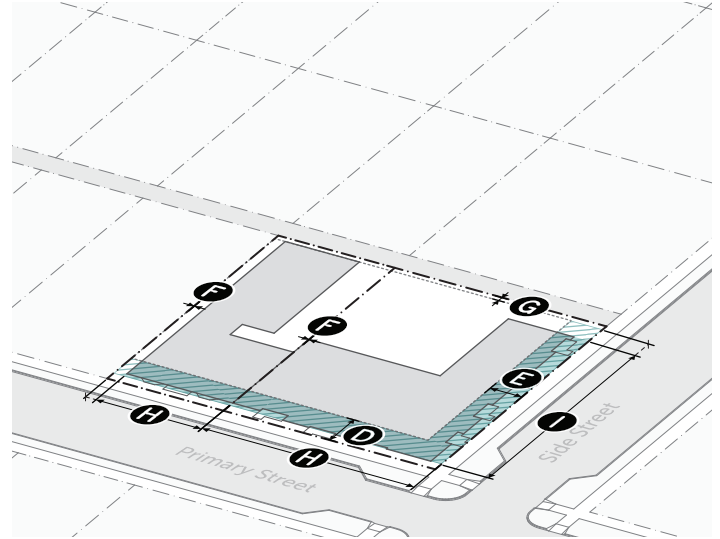
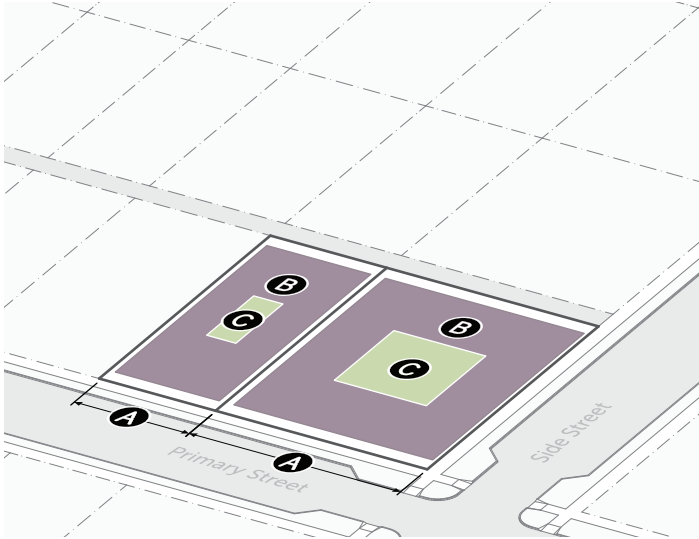
I. IX-8 Industrial Mixed Use 8

Allows up to an 8-story residential, commercial, light industrial or mixed use building. Also includes rowhouses, stacked townhouses, multiplexes, and apartments



2.3.2. **RX-4** RESIDENTIAL MIXED USE 4

A. Lot Standards

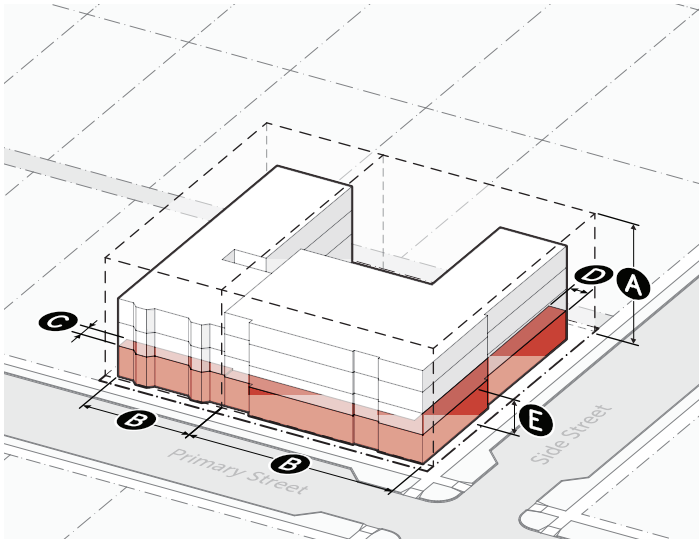


1. Lot Size	
Ⓐ Lot width (min)	0'
2. Dwelling Units	
Dwelling units per building (max)	n/a
3. Coverage	
Ⓑ Building coverage (max)	80%
Ⓒ Amenity space (min)	15%

4. Building Setbacks	
Ⓓ Primary street (min/max)	5'/15'
Ⓔ Side street (min/max)	5'/15'
Ⓕ Side (min)	0'
Rear (min)	0'
Ⓖ Alley (min)	3'
5. Build-to	
Ⓗ Primary street (min)	70%
Ⓘ Side street (min)	35%
6. Parking Location	
Parking between building & street	Not allowed

RX-4

B. Building Standards

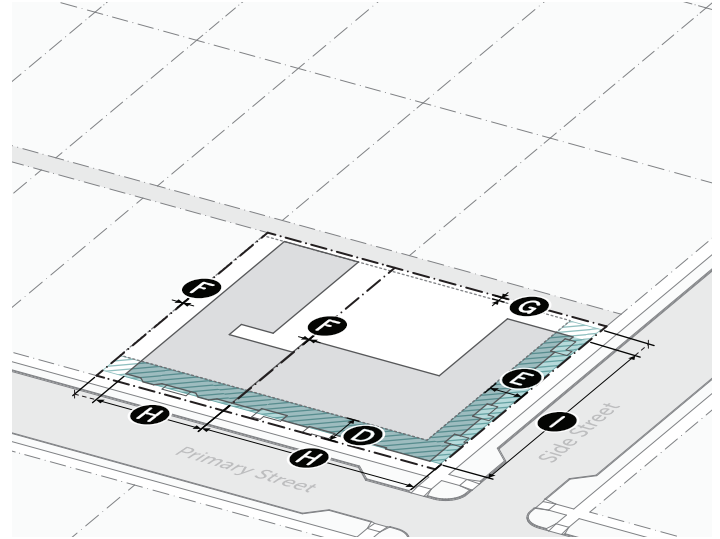
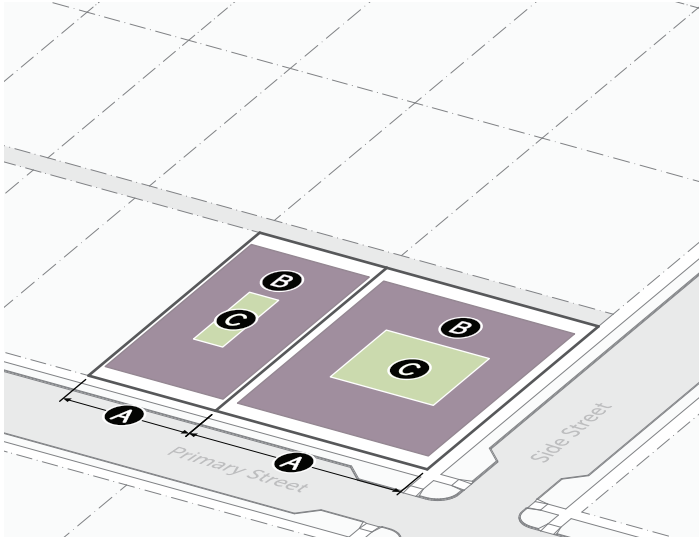


1. Massing	
Ⓐ Building height (max)	4 stories/55'
Ⓑ Building width (max)	175'
2. Active Depth	
Ⓒ Primary street (min)	9'
Ⓓ Side street (min)	9'
3. Ground Story	
Ⓔ Ground story height (min)	
Residential	10'
Nonresidential	12'
Finished floor elevation (min/max)	-2'/4'

	Primary St.	Side St.
4. Windows		
Ⓕ Ground story (min)		
Residential	20%	20%
Nonresidential	40%	20%
Ⓖ Upper story (min)	15%	15%
Ⓗ Blank wall width (max)	15'	25'
5. Doors		
Ⓘ Street-facing entry spacing (max)	50'	75'

2.3.3. **RX-6** RESIDENTIAL MIXED USE 6

A. Lot Standards

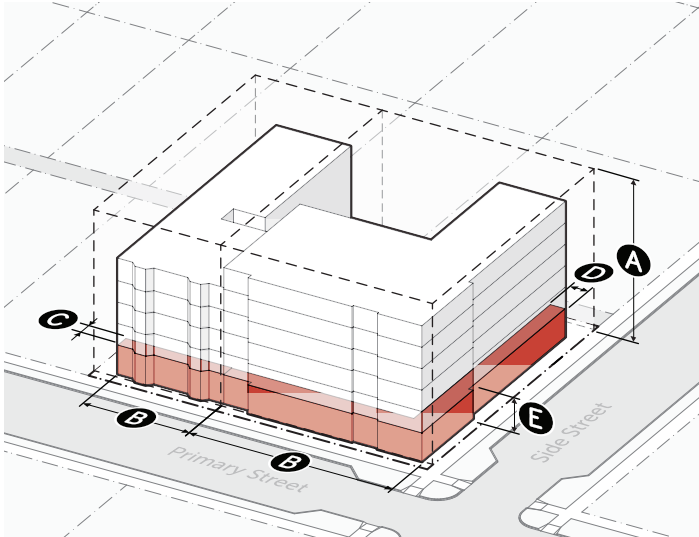


1. Lot Size	
Ⓐ Lot width (min)	0'
2. Dwelling Units	
Dwelling units per building (max)	n/a
3. Coverage	
Ⓑ Building coverage (max)	80%
Ⓒ Amenity space (min)	15%

4. Building Setbacks	
Ⓓ Primary street (min/max)	5'/15'
Ⓔ Side street (min/max)	5'/15'
Ⓕ Side (min)	0'
Rear (min)	0'
Ⓖ Alley (min)	3'
5. Build-to	
Ⓗ Primary street (min)	70%
Ⓘ Side street (min)	35%
6. Parking Location	
Parking between building & street	Not allowed

RX-6

B. Building Standards

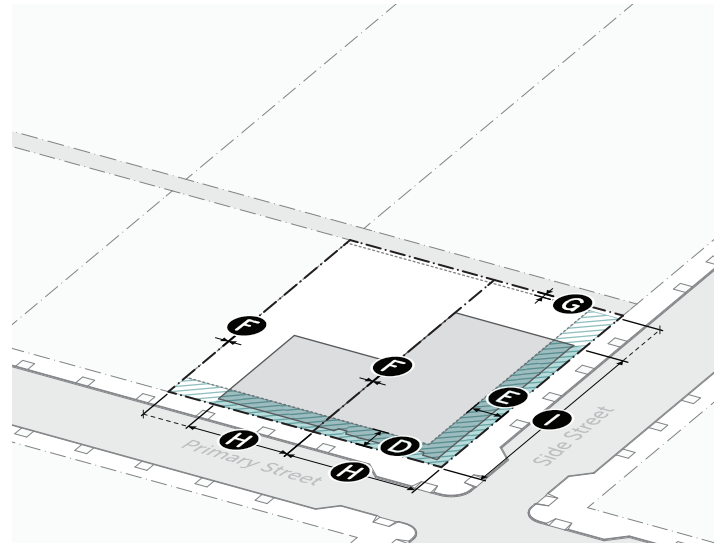
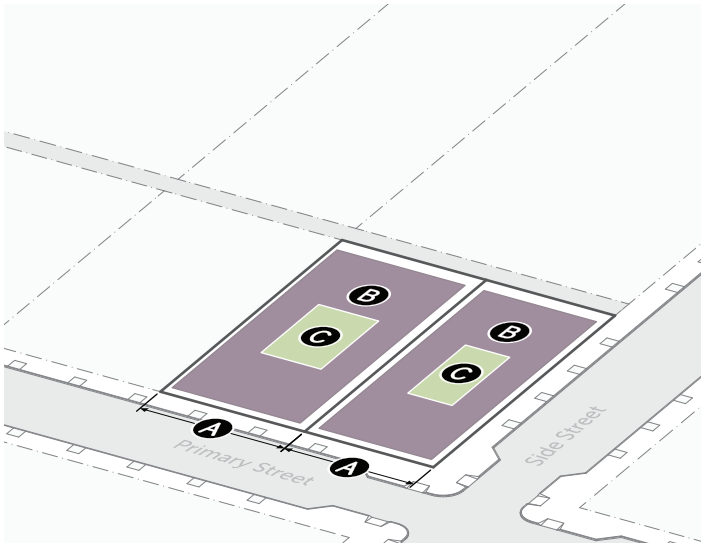


1. Massing	
Ⓐ Building height (max)	6 stories/75'
Ⓑ Building width (max)	200'
2. Active Depth	
Ⓒ Primary street (min)	9'
Ⓓ Side street (min)	9'
3. Ground Story	
Ⓔ Ground story height (min)	
Residential	10'
Nonresidential	12'
Finished floor elevation (min/max)	-2'/4'

	Primary St.	Side St.
4. Windows		
Ⓕ Ground story (min)		
Residential	20%	20%
Nonresidential	40%	20%
Ⓖ Upper story (min)	15%	15%
Ⓗ Blank wall width (max)	15'	25'
5. Doors		
Ⓘ Street-facing entry spacing (max)	50'	75'

2.3.4. **MX-4** MIXED USE 4

A. Lot Standards

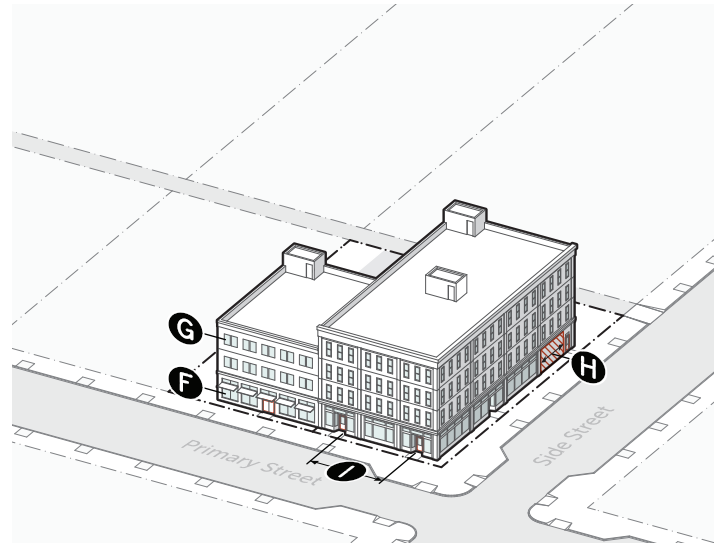
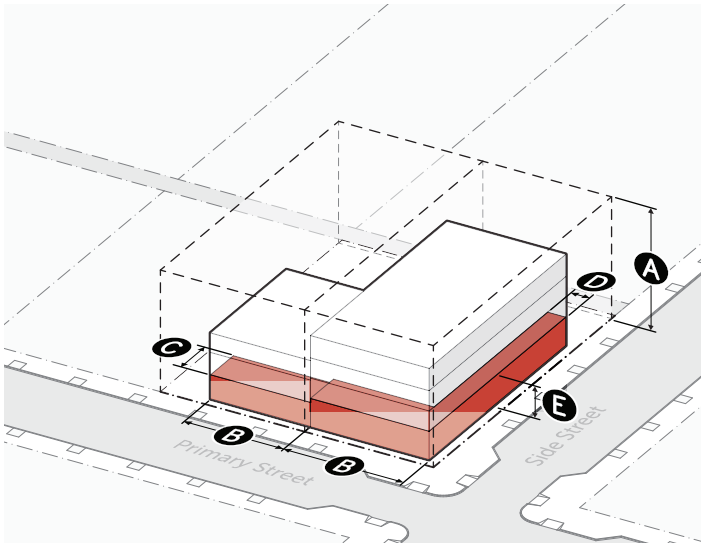


1. Lot Size	
Ⓐ Lot width (min)	0'
2. Dwelling Units	
Dwelling units per building (max)	n/a
3. Coverage	
Ⓑ Building coverage (max)	80%
Ⓒ Amenity space (min)	15%

4. Building Setbacks	
Ⓓ Primary street (min/max)	0'/15'
Ⓔ Side street (min/max)	0'/15'
Ⓕ Side (min)	0'
Rear (min)	0'
Ⓖ Alley (min)	3'
5. Build-to	
Ⓗ Primary street (min)	80%
Ⓘ Side street (min)	40%
6. Parking Location	
Parking between building & street	Not allowed

MX-4

B. Building Standards

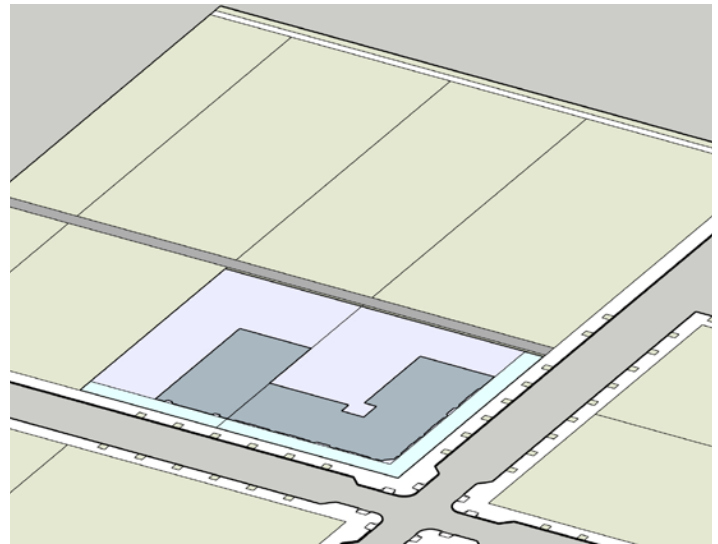
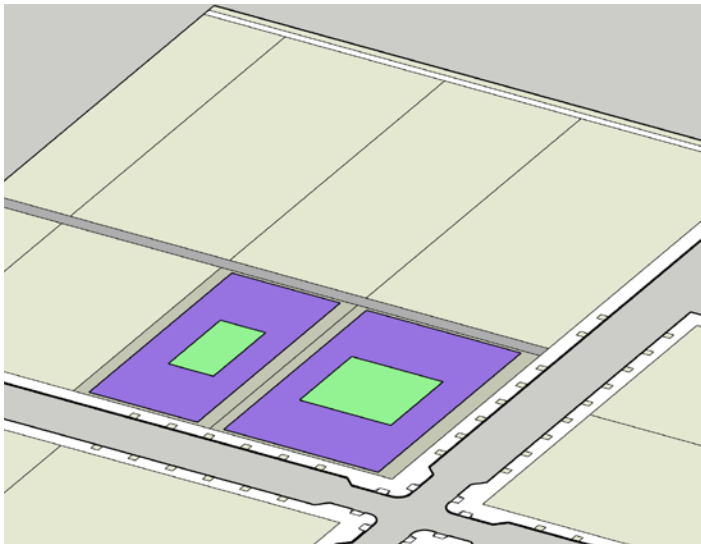


1. Massing	
A Building height (max)	4 stories/60'
B Building width (max)	175'
2. Active Depth	
C Primary street (min)	20'
D Side street (min)	9'
3. Ground Story	
E Ground story height (min)	
Residential	10'
Nonresidential	12'
Finished floor elevation (min/max)	-2'/4'

	Primary St.	Side St.
4. Windows		
F Ground story (min)		
Residential	30%	30%
Nonresidential	50%	30%
G Upper story (min)	15%	15%
H Blank wall width (max)	15'	25'
5. Doors		
I Street-facing entry spacing (max)	40'	60'

2.3.5. **MX-6** MIXED USE 6

A. Lot Standards

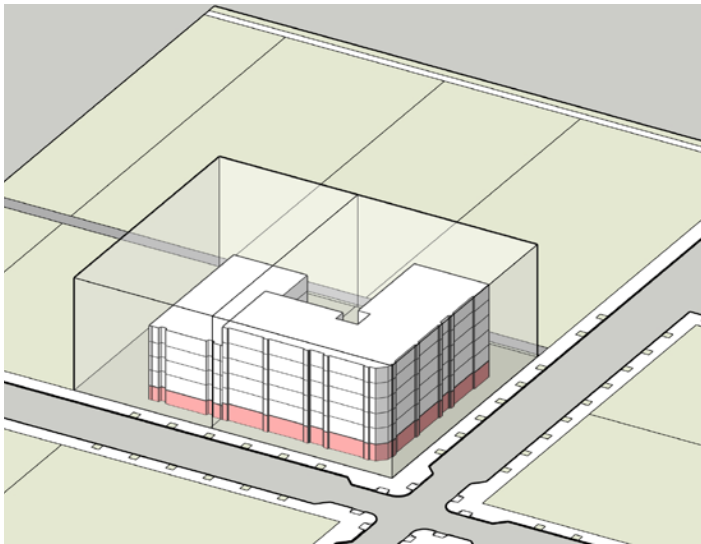


1. Lot Size	
Ⓐ Lot width (min)	0'
2. Dwelling Units	
Dwelling units per building (max)	n/a
3. Coverage	
Ⓑ Building coverage (max)	80%
Ⓒ Amenity space (min)	15%

4. Building Setbacks	
Ⓓ Primary street (min/max)	0'/15'
Ⓔ Side street (min/max)	0'/15'
Ⓕ Side (min)	0'
Rear (min)	0'
Ⓖ Alley (min)	3'
5. Build-to	
Ⓗ Primary street (min)	80%
Ⓘ Side street (min)	40%
6. Parking Location	
Parking between building & street	Not allowed

MX-6

B. Building Standards

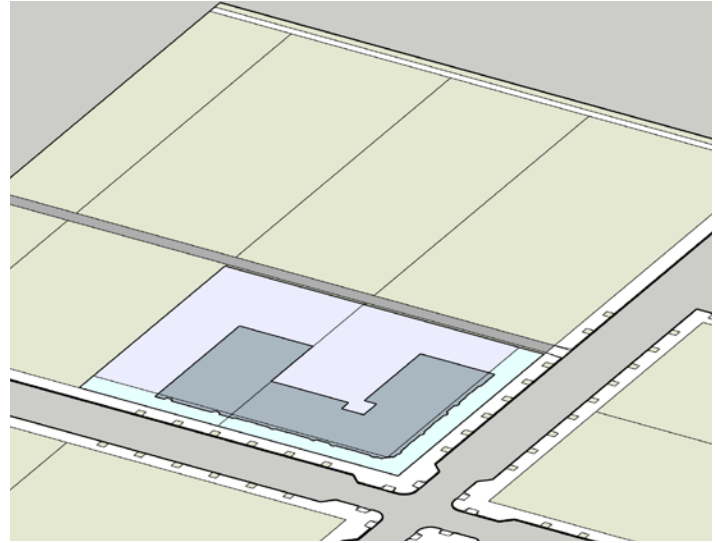
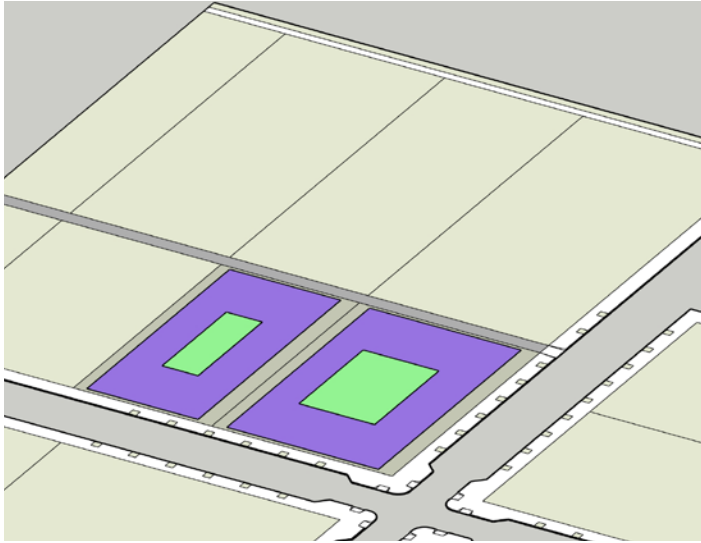


1. Massing	
Ⓐ Building height (max)	6 stories/90'
Ⓑ Building width (max)	200'
2. Active Depth	
Ⓒ Primary street (min)	20'
Ⓓ Side street (min)	9'
3. Ground Story	
Ⓔ Ground story height (min)	
Residential	10'
Nonresidential	12'
Finished floor elevation (min/max)	-2'/4'

	Primary St.	Side St.
4. Windows		
Ⓕ Ground story (min)		
Residential	30%	30%
Nonresidential	50%	30%
Ⓖ Upper story (min)	15%	15%
Ⓗ Blank wall width (max)	15'	25'
5. Doors		
Ⓖ Street-facing entry spacing (max)	40'	60'

2.3.6. **MX-8** MIXED USE 8

A. Lot Standards

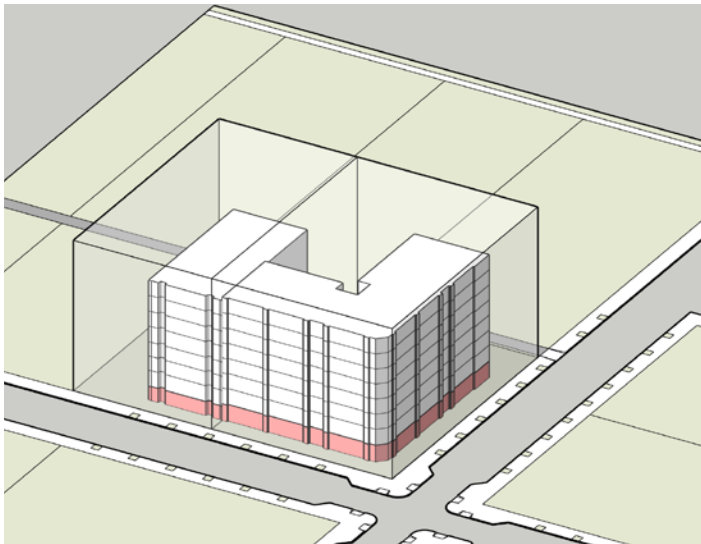


1. Lot Size	
Ⓐ Lot width (min)	0'
2. Dwelling Units	
Dwelling units per building (max)	n/a
3. Coverage	
Ⓑ Building coverage (max)	80%
Ⓒ Amenity space (min)	15%

4. Building Setbacks	
Ⓓ Primary street (min/max)	0'/20'
Ⓔ Side street (min/max)	0'/20'
Ⓕ Side (min)	0'
Rear (min)	0'
Ⓖ Alley (min)	3'
5. Build-to	
Ⓗ Primary street (min)	80%
Ⓘ Side street (min)	40%
6. Parking Location	
Parking between building & street	Not allowed

MX-8

B. Building Standards

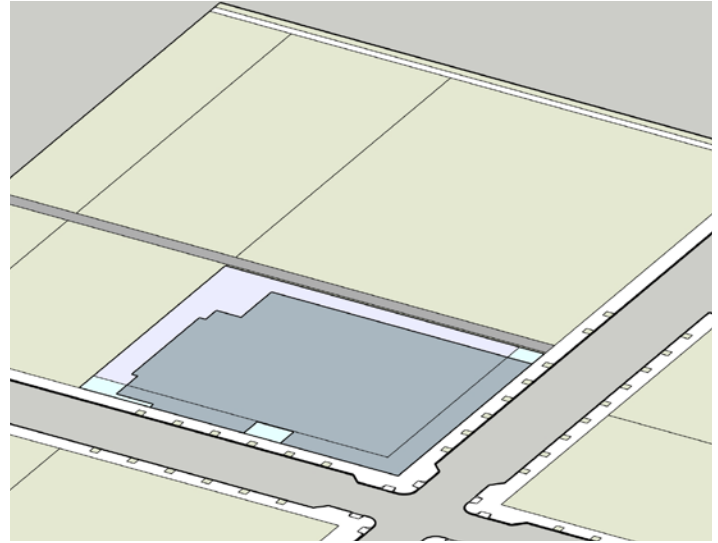
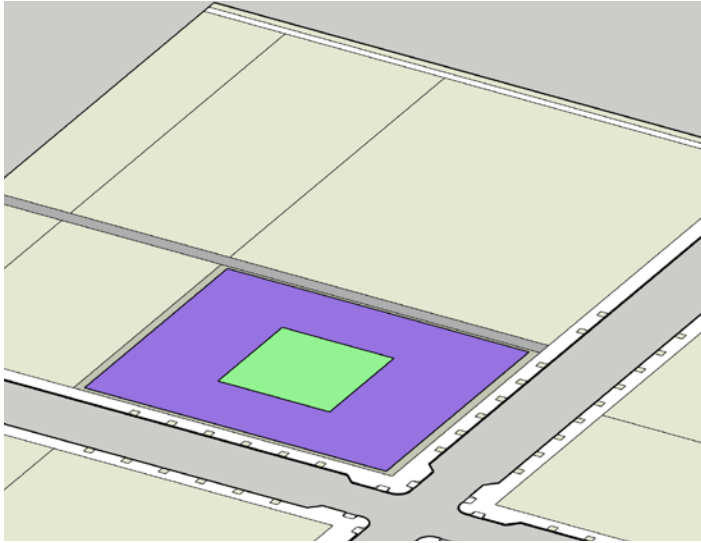


1. Massing	
Ⓐ Building height (max)	8 stories/120'
Ⓑ Building width (max)	225'
2. Active Depth	
Ⓒ Primary street (min)	20'
Ⓓ Side street (min)	9'
3. Ground Story	
Ⓔ Ground story height (min)	
Residential	10'
Nonresidential	12'
Finished floor elevation (min/max)	-2'/4'

	Primary St.	Side St.
4. Windows		
Ⓕ Ground story (min)		
Residential	30%	30%
Nonresidential	50%	30%
Ⓖ Upper story (min)	15%	15%
Ⓗ Blank wall width (max)	15'	25'
5. Doors		
Ⓖ Street-facing entry spacing (max)	40'	60'

2.3.7. **MX-13** MIXED USE 13

A. Lot Standards

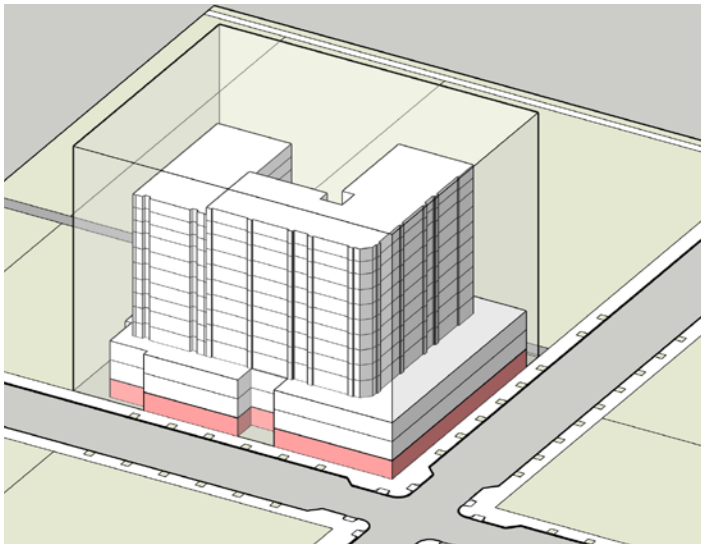


1. Lot Size	
Ⓐ Lot width (min)	0'
2. Dwelling Units	
Dwelling units per building (max)	n/a
3. Coverage	
Ⓑ Building coverage (max)	90%
Ⓒ Amenity space (min)	15%

4. Building Setbacks	
Ⓓ Primary street (min/max)	0'/20'
Ⓔ Side street (min/max)	0'/20'
Ⓕ Side (min)	0'
Rear (min)	0'
Ⓖ Alley (min)	3'
5. Build-to	
Ⓗ Primary street (min)	80%
Ⓘ Side street (min)	60%
6. Parking Location	
Parking between building & street	Not allowed

MX-13

B. Building Standards

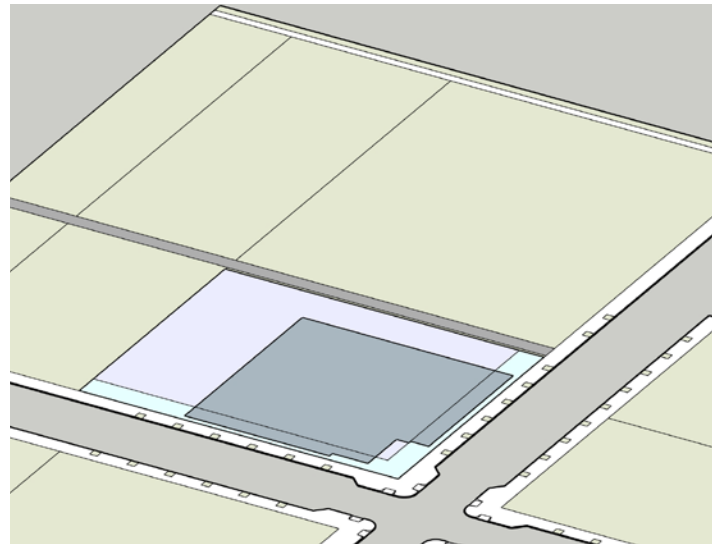
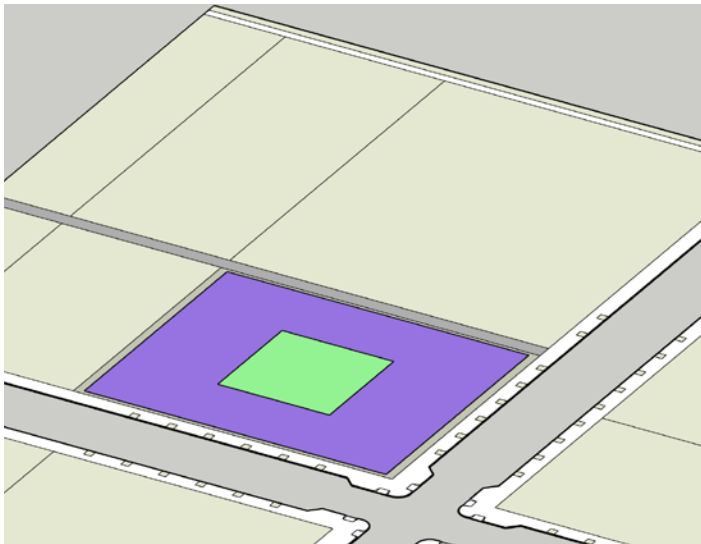


1. Massing	
Ⓐ Building height (max)	13 stories/190'
Ⓑ Building width (max)	250'
2. Active Depth	
Ⓒ Primary street (min)	25'
Ⓓ Side street (min)	15'
3. Ground Story	
Ⓔ Ground story height (min)	
Residential	10'
Nonresidential	14'
Finished floor elevation (min/max)	-2'/4'

	Primary St.	Side St.
4. Windows		
Ⓕ Ground story (min)		
Residential	30%	30%
Nonresidential	50%	30%
Ⓖ Upper story (min)	15%	15%
Ⓗ Blank wall width (max)	10'	20'
5. Doors		
Ⓖ Street-facing entry spacing (max)	40'	60'

2.3.8. **MX-U** MIXED USE UNLIMITED

A. Lot Standards

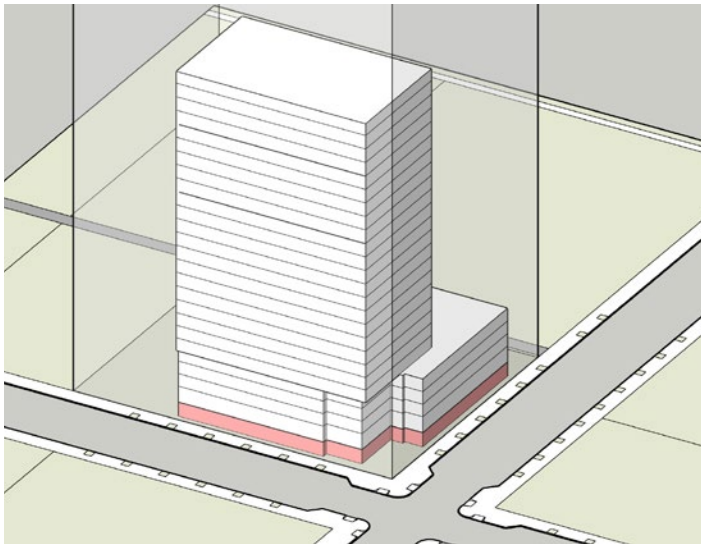


1. Lot Size	
Ⓐ Lot width (min)	0'
2. Dwelling Units	
Dwelling units per building (max)	n/a
3. Coverage	
Ⓑ Building coverage (max)	90%
Ⓒ Amenity space (min)	15%

4. Building Setbacks	
Ⓓ Primary street (min/max)	0'/20'
Ⓔ Side street (min/max)	0'/20'
Ⓕ Side (min)	0'
Rear (min)	0'
Ⓖ Alley (min)	3'
5. Build-to	
Ⓗ Primary street (min)	90%
Ⓘ Side street (min)	60%
6. Parking Location	
Parking between building & street	Not allowed

MX-U

B. Building Standards

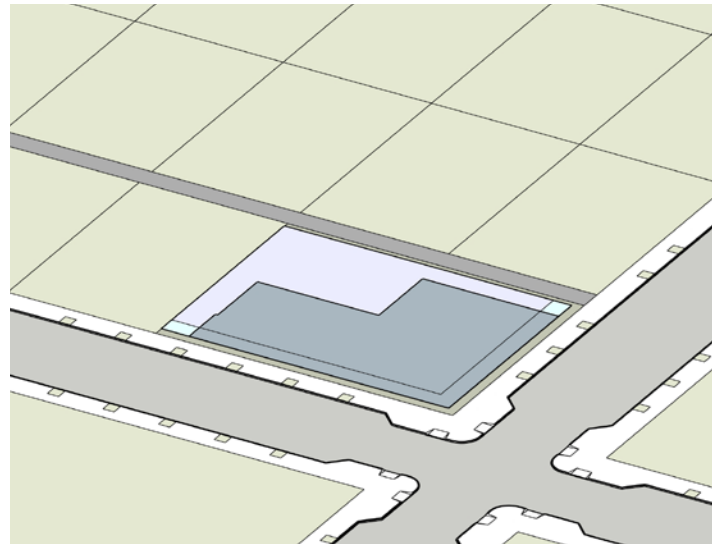
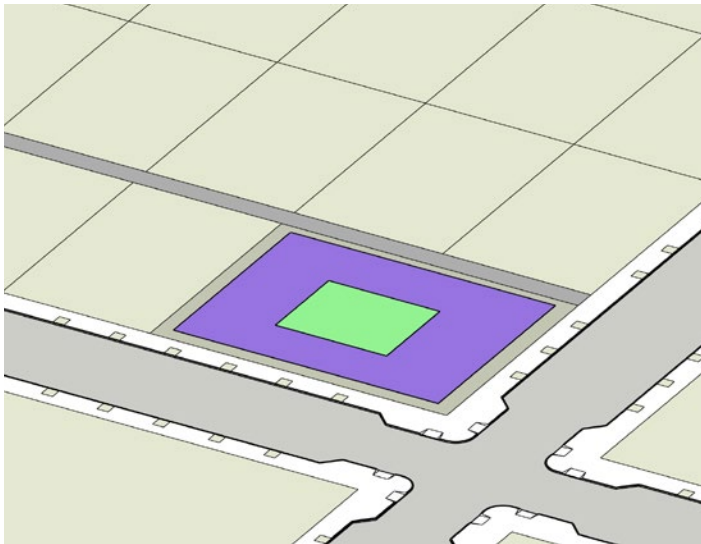


1. Massing	
Ⓐ Building height (max)	Unlimited
Ⓑ Building width (max)	Unlimited
2. Active Depth	
Ⓒ Primary street (min)	25'
Ⓓ Side street (min)	25'
3. Ground Story	
Ⓔ Ground story height (min)	
Residential	10'
Nonresidential	14'
Finished floor elevation (min/max)	-2'/4'

	Primary St.	Side St.
4. Windows		
Ⓕ Ground story (min)		
Residential	30%	30%
Nonresidential	50%	30%
Ⓖ Upper story (min)	15%	15%
Ⓗ Blank wall width (max)	10'	20'
5. Doors		
Ⓖ Street-facing entry spacing (max)	40'	40'

2.3.9. IX-6 INDUSTRIAL MIXED USE 6

A. Lot Standards

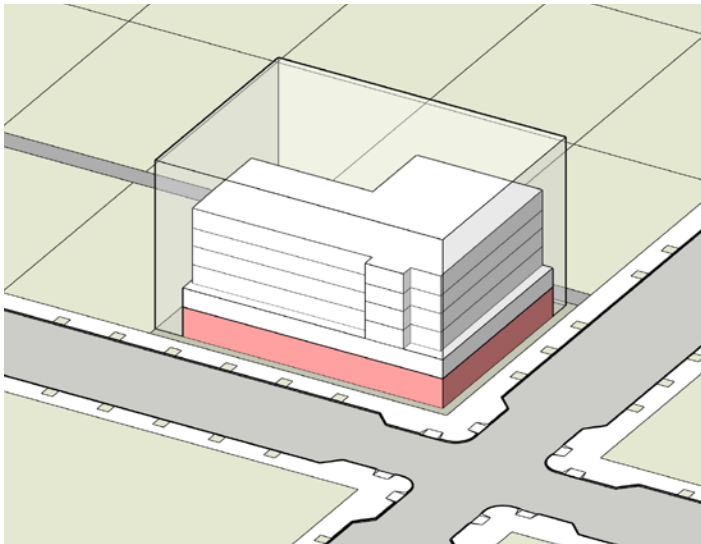


1. Lot Size	
Ⓐ Lot width (min)	0'
2. Dwelling Units	
Dwelling units per building (max)	n/a
3. Coverage	
Ⓑ Building coverage (max)	80%
Ⓒ Amenity space (min)	15%

4. Building Setbacks	
Ⓓ Primary street (min/max)	5'/15'
Ⓔ Side street (min/max)	5'/15'
Ⓕ Side (min)	0'
Rear (min)	0'
Ⓖ Alley (min)	3'
5. Build-to	
Ⓗ Primary street (min)	80%
Ⓘ Side street (min)	40%
6. Parking Location	
Parking between building & street	Not allowed

IX-6

B. Building Standards

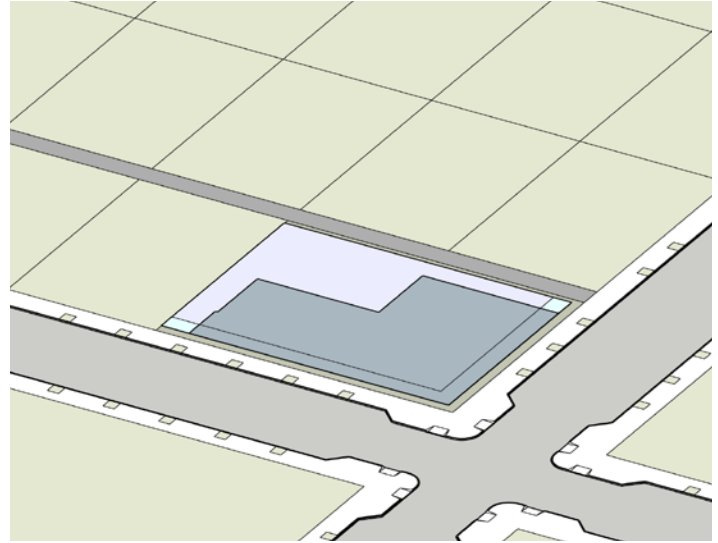
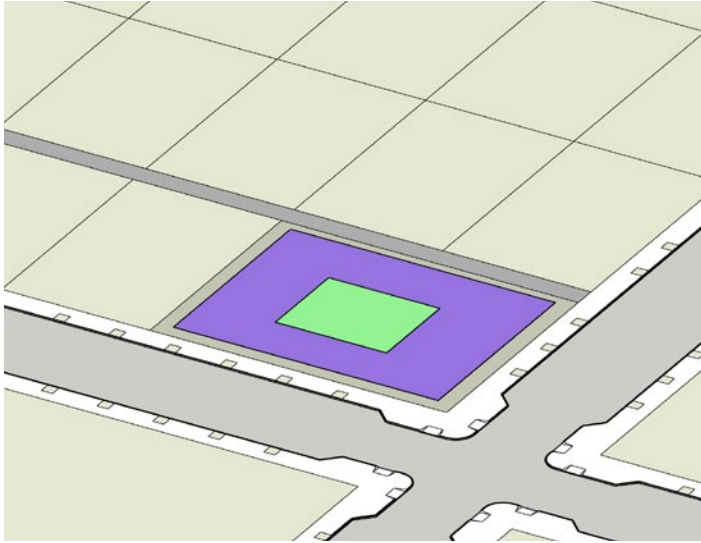


1. Massing	
Ⓐ Building height (max)	6 stories/90'
Ⓑ Building width (max)	225'
2. Active Depth	
Ⓒ Primary street (min)	20'
Ⓓ Side street (min)	9'
3. Ground Story	
Ⓔ Ground story height (min)	
Residential	10'
Nonresidential	12'
Finished floor elevation (min/max)	-2'/4'

	Primary St.	Side St.
4. Windows		
Ⓕ Ground story (min)		
Residential	30%	30%
Nonresidential	50%	30%
Ⓖ Upper story (min)	15%	15%
Ⓗ Blank wall width (max)	20'	30'
5. Doors		
Ⓖ Street-facing entry spacing (max)	75'	100'

2.3.10. IX-8 INDUSTRIAL MIXED USE 8

A. Lot Standards

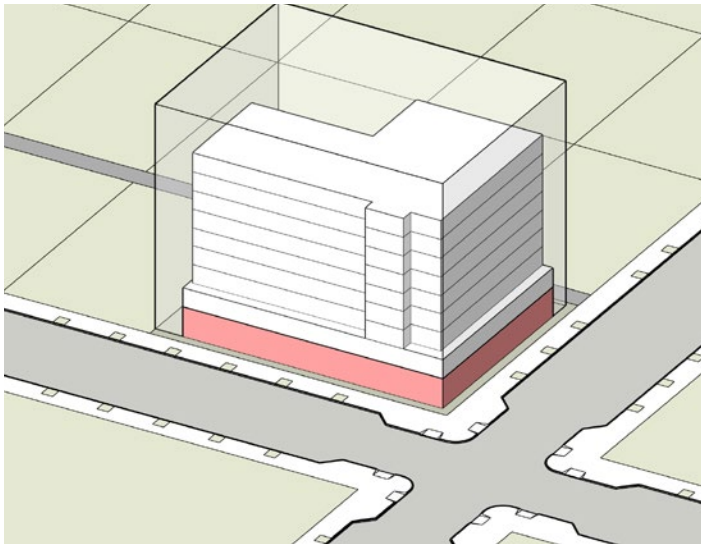


1. Lot Size	
Ⓐ Lot width (min)	0'
2. Dwelling Units	
Dwelling units per building (max)	n/a
3. Coverage	
Ⓑ Building coverage (max)	80%
Ⓒ Amenity space (min)	15%

4. Building Setbacks	
Ⓓ Primary street (min/max)	5'/15'
Ⓔ Side street (min/max)	5'/15'
Ⓕ Side (min)	0'
Rear (min)	0'
Ⓖ Alley (min)	3'
5. Build-to	
Ⓗ Primary street (min)	80%
Ⓘ Side street (min)	40%
6. Parking Location	
Parking between building & street	Not allowed

IX-8

B. Building Standards



1. Massing	
Ⓐ Building height (max)	8 stories/120'
Ⓑ Building width (max)	275'
2. Active Depth	
Ⓒ Primary street (min)	20'
Ⓓ Side street (min)	9'
3. Ground Story	
Ⓔ Ground story height (min)	
Residential	10'
Nonresidential	12'
Finished floor elevation (min/max)	-2'/4'

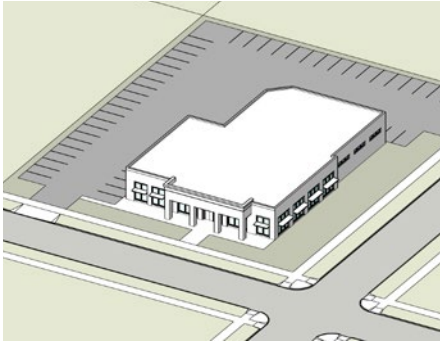
	Primary St.	Side St.
4. Windows		
Ⓕ Ground story (min)		
Residential	30%	30%
Nonresidential	50%	30%
Ⓖ Upper story (min)	15%	15%
Ⓗ Blank wall width (max)	20'	30'
5. Doors		
Ⓖ Street-facing entry spacing (max)	75'	100'

SEC. 2.4. **COMMERCIAL AND INDUSTRIAL DISTRICTS**

2.4.1. Summary of Districts

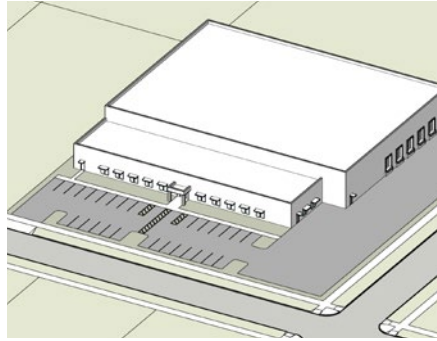
A. CG Commercial General

Allows up to a 4-story auto-oriented commercial building
Also allows rowhouses, stacked townhouses, and apartments.



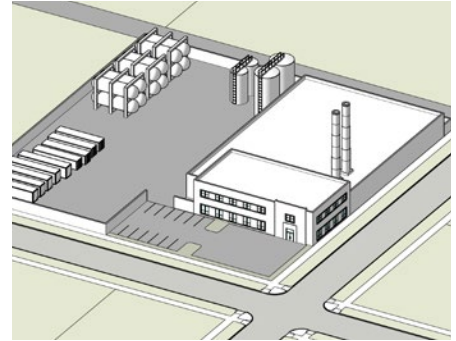
B. IL Industrial Light

Allows a range of low-impact industrial activity - the majority of activity is conducted indoors with limited accessory outdoor storage.



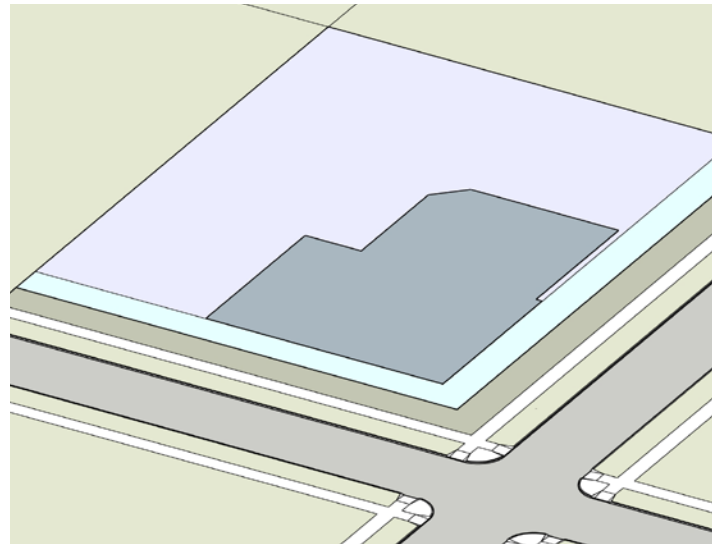
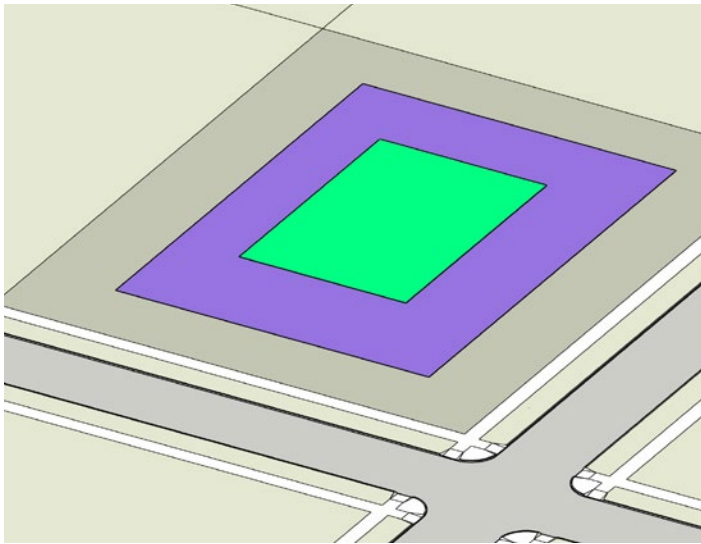
C. IH Industrial Heavy

Allows a range of larger footprint high-impact industrial activity.



2.4.2. **CG** COMMERCIAL GENERAL

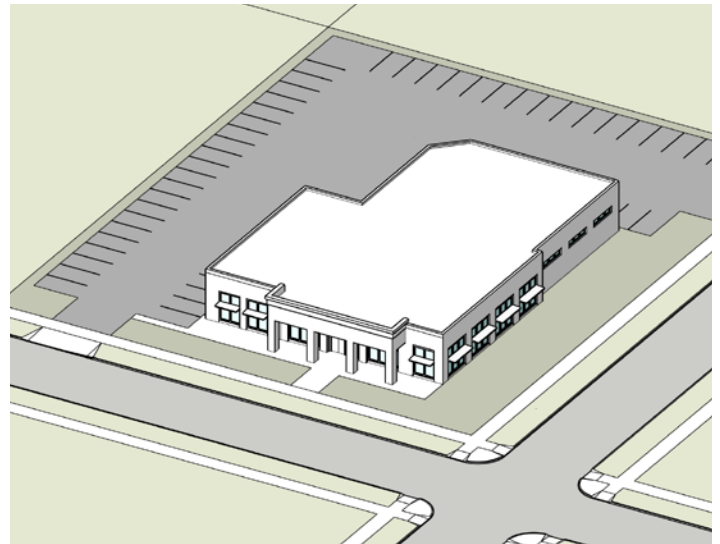
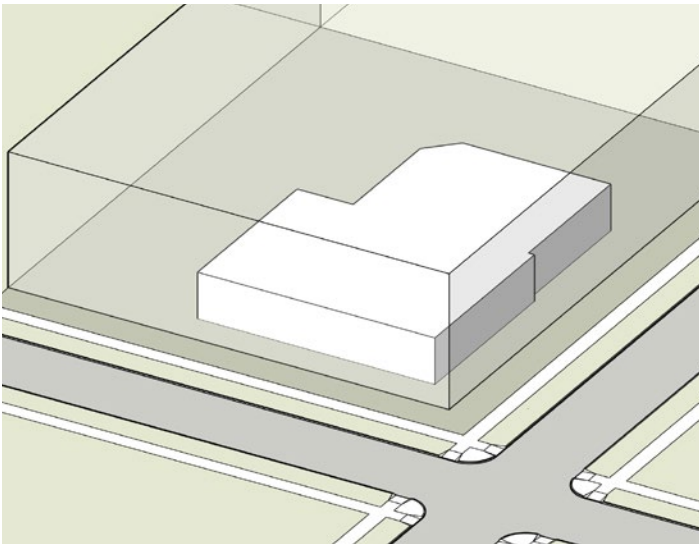
A. Lot Standards



1. Lot Size	
Ⓐ Lot width (min)	0'
2. Dwelling Units	
Dwelling units per building (max)	n/a
3. Coverage	
Ⓑ Building coverage (max)	50%
Ⓒ Amenity space (min)	15%

4. Building Setbacks	
Ⓓ Primary street (min)	15'/30'
Ⓔ Side street (min)	15'/30'
Ⓕ Side (min)	0'
Ⓖ Rear (min)	0'
Alley (min)	3'
5. Build-to	
Ⓗ Primary street (min)	40%
Ⓙ Side street (min)	20%
6. Parking Location	
Parking between building & street	Not allowed

B. Building Standards

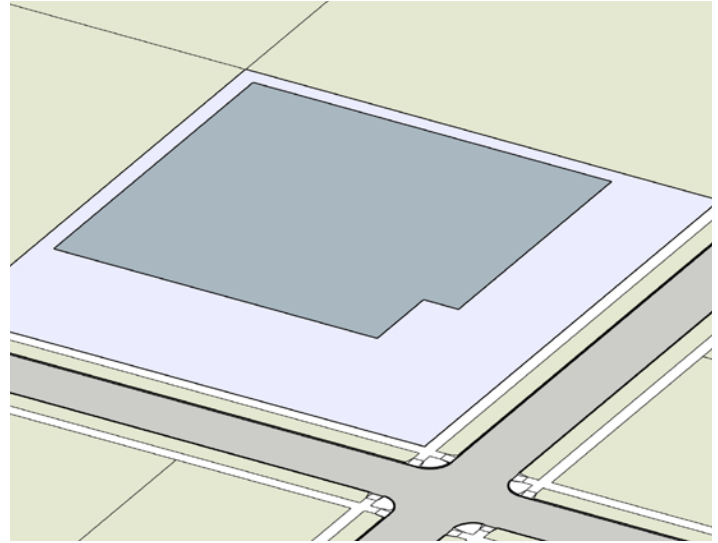
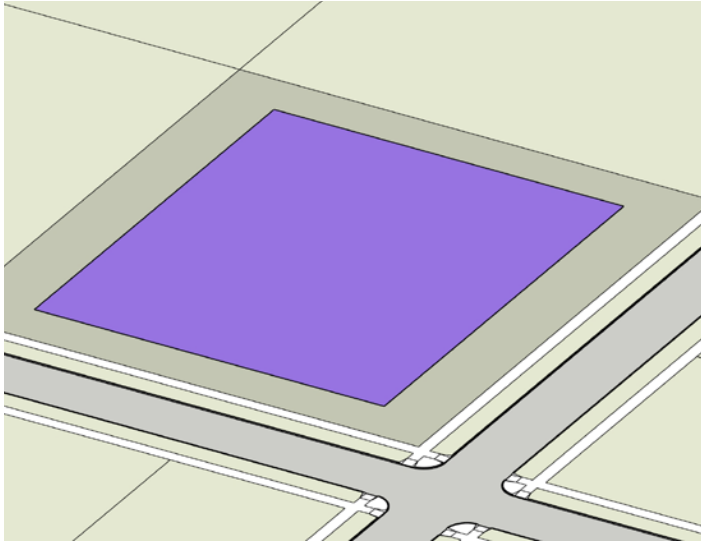


1. Massing	
Ⓐ Building height (max)	60'
Ⓑ Building width (max)	250'
2. Active Depth	
Primary street (min)	n/a
Side street (min)	n/a
3. Ground Story	
Ⓒ Ground story height (min)	12'
Finished floor elevation (min/max)	n/a

	Primary St.	Side St.
4. Windows		
Ⓓ Ground story (min)	50%	n/a
Ⓔ Upper story (min)	n/a	n/a
Ⓕ Blank wall width (max)	n/a	n/a
5. Doors		
Ⓖ Street-facing entry spacing (max)	100'	n/a

2.4.3. **IL** INDUSTRIAL LIGHT

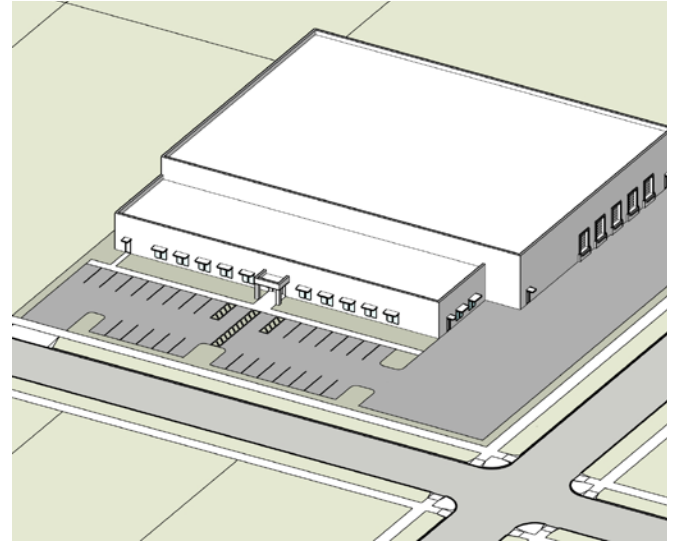
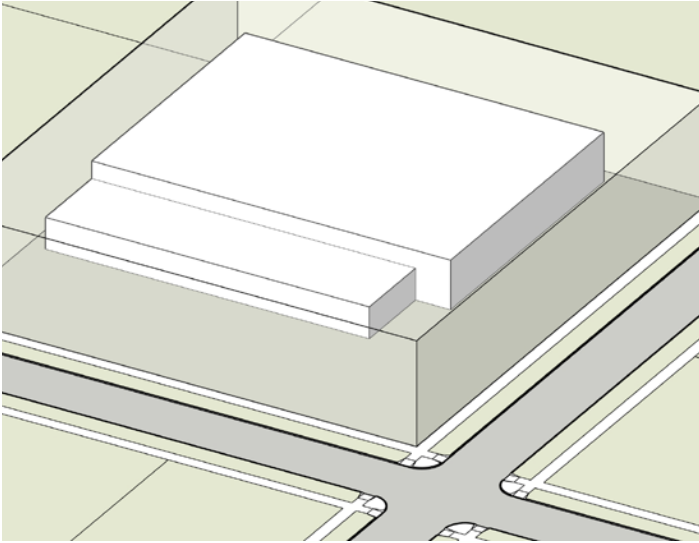
A. Lot Standards



1. Lot Size	
Ⓐ Lot width (min)	0'
2. Dwelling Units	
Dwelling units per building (max)	n/a
3. Coverage	
Ⓑ Building coverage (max)	60%
Amenity space (min)	n/a

4. Building Setbacks	
Ⓒ Primary street (min)	0'
Ⓓ Side street (min)	0'
Ⓔ Side (min)	0'
Ⓕ Rear (min)	0'
Alley (min)	3'
5. Build-to	
Primary street (min)	n/a
Side street (min)	n/a
6. Parking Location	
Parking between building & street	Allowed

B. Building Standards

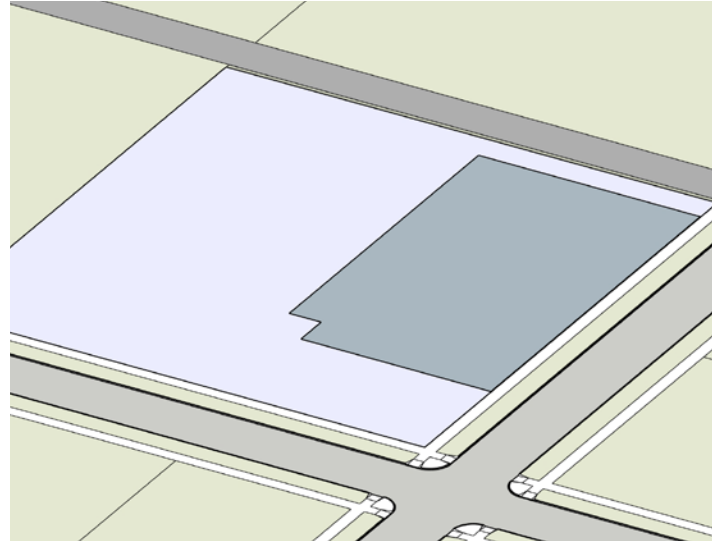
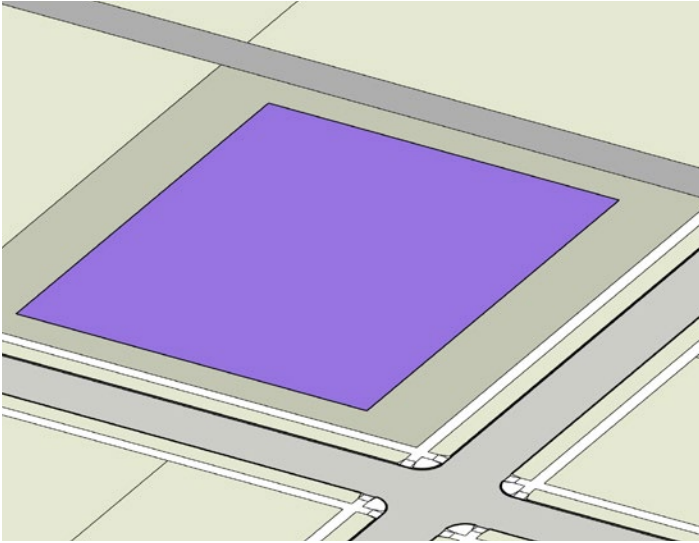


1. Massing	
Ⓐ Building height (max)	60'
Building width (max)	n/a
2. Active Depth	
Primary street (min)	n/a
Side street (min)	n/a
3. Ground Story	
Ground story height (min)	n/a
Finished floor elevation (min/max)	n/a

	Primary St.	Side St.
4. Windows		
Ground story (min)	n/a	n/a
Upper story (min)	n/a	n/a
Blank wall width (max)	n/a	n/a
5. Doors		
Street-facing entry spacing (max)	n/a	n/a

2.4.4. **IH** INDUSTRIAL HEAVY

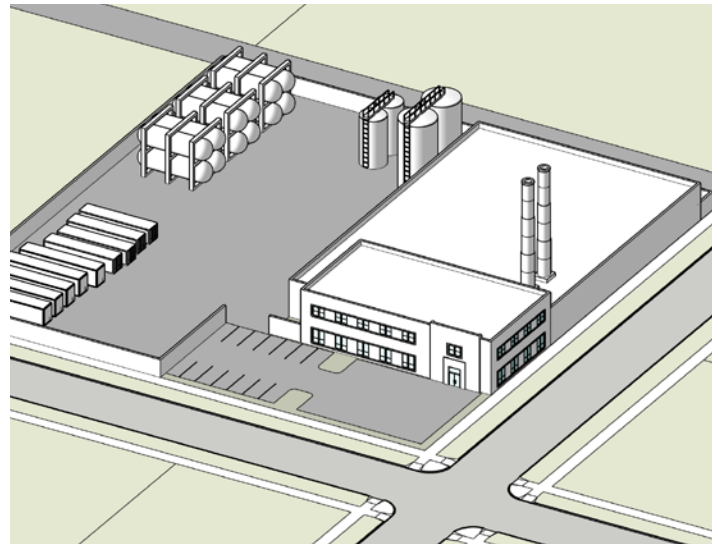
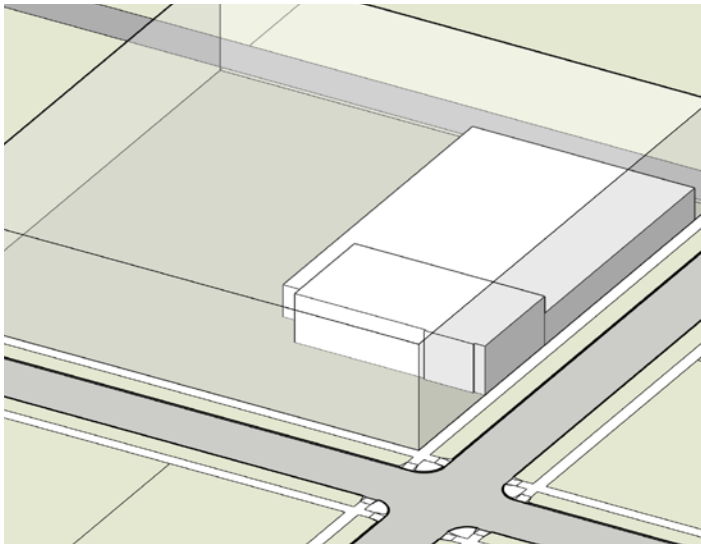
A. Lot Standards



1. Lot Size	
Ⓐ Lot width (min)	0'
2. Dwelling Units	
Dwelling units per building (max)	n/a
3. Coverage	
Ⓑ Building coverage (max)	60%
Amenity space (min)	n/a

4. Building Setbacks	
Ⓒ Primary street (min)	0'
Ⓓ Side street (min)	0'
Ⓔ Side (min)	0'
Ⓕ Rear (min)	0'
Alley (min)	3'
5. Build-to	
Primary street (min)	n/a
Side street (min)	n/a
6. Parking Location	
Parking between building & street	Allowed

B. Building Standards



1. Massing	
Ⓐ Building height (max)	60'
Building width (max)	n/a
2. Active Depth	
Primary street (min)	n/a
Side street (min)	n/a
3. Ground Story	
Ground story height (min)	n/a
Finished floor elevation (min/max)	n/a

	Primary St.	Side St.
4. Windows		
Ground story (min)	n/a	n/a
Upper story (min)	n/a	n/a
Blank wall width (max)	n/a	n/a
5. Doors		
Street-facing entry spacing (max)	n/a	n/a

COMMERCIAL AND INDUSTRIAL DISTRICTS

SEC. 2.5. INSTITUTIONAL AND OPEN SPACE DISTRICTS

2.5.1. Summary of Districts

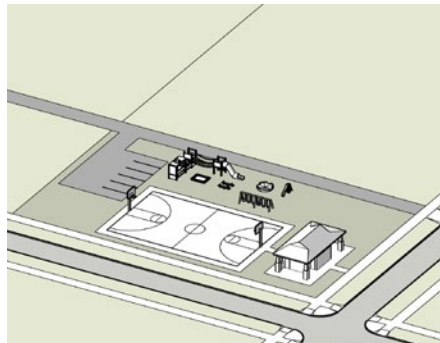
A. INS Institutional

Allows for a range of larger public, civic & institutional uses that do not readily assimilate into other zoning districts such as schools, places of worship, hospitals, museums, and libraries.



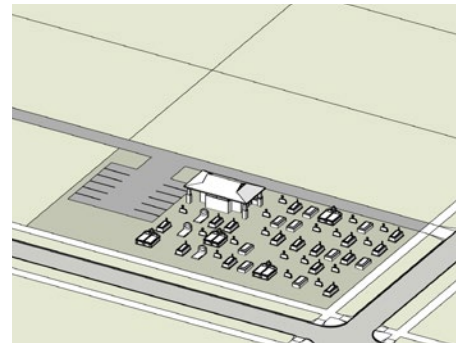
B. OS Open Space

Publicly-owned open space that serves the passive and active recreational needs of the community, includes parks, playgrounds, sports fields, dog parks, trails, and conversation areas.



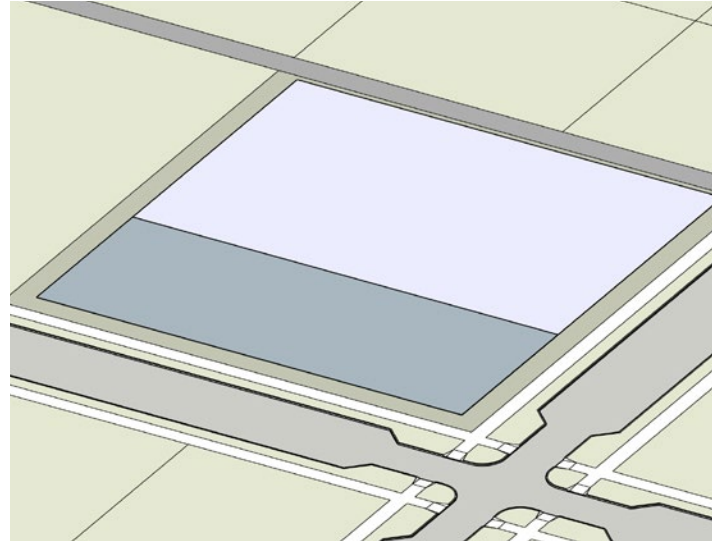
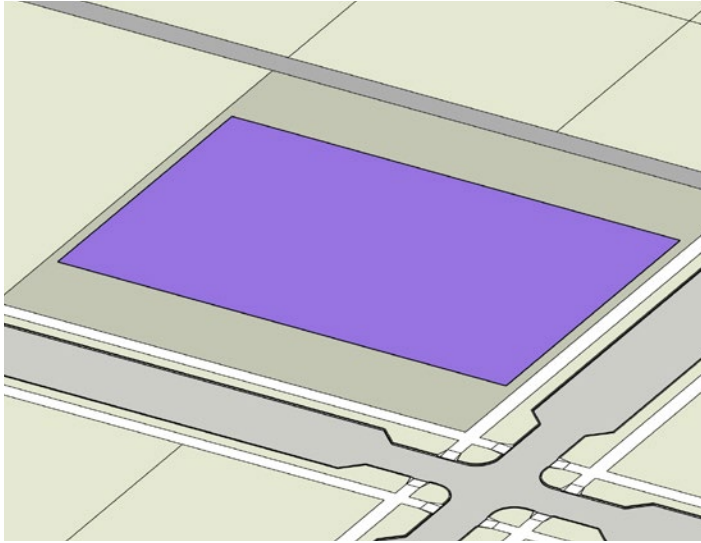
C. CEM Cemetery

Open space used to bury remains and memorialize the deceased that could include chapels and mausoleums.



2.5.2. **INS** INSTITUTIONAL

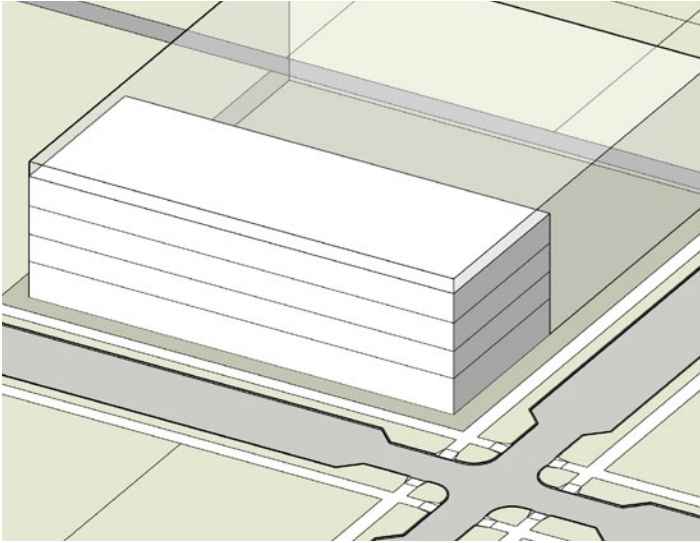
A. Lot Standards



1. Lot Size	
Ⓐ Lot area (min)	1 acre
Ⓑ Lot width (min)	100'
2. Dwelling Units	
Dwelling units per building (max)	n/a
3. Coverage	
Ⓒ Building coverage (max)	60%
Amenity space (min)	n/a

4. Building Setbacks	
Ⓓ Primary street (min)	10'
Ⓔ Side street (min)	10'
Ⓕ Side (min)	10'
Rear (min)	10'
Ⓖ Alley (min)	3'
5. Build-to	
Primary street (min)	n/a
Side street (min)	n/a
6. Parking Location	
Parking between building & street	Allowed

B. Building Standards

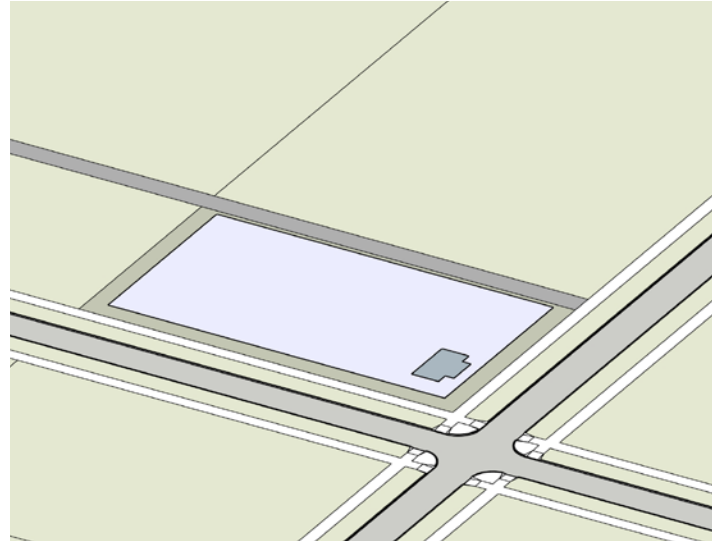
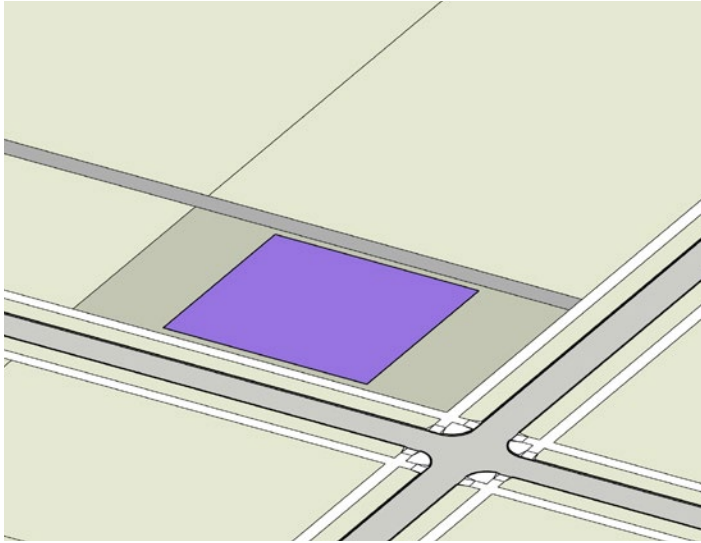


1. Massing	
Ⓐ Building height (max)	Height of abutting district
Building width (max)	n/a
2. Active Depth	
Primary street (min)	n/a
Side street (min)	n/a
3. Ground Story	
Ground story height (min)	n/a
Finished floor elevation (min/max)	n/a

	Primary St.	Side St.
4. Windows		
Ground story (min)	n/a	n/a
Upper story (min)	n/a	n/a
Blank wall width (max)	n/a	n/a
5. Doors		
Street-facing entry spacing (max)	n/a	n/a

2.5.3. OS OPEN SPACE

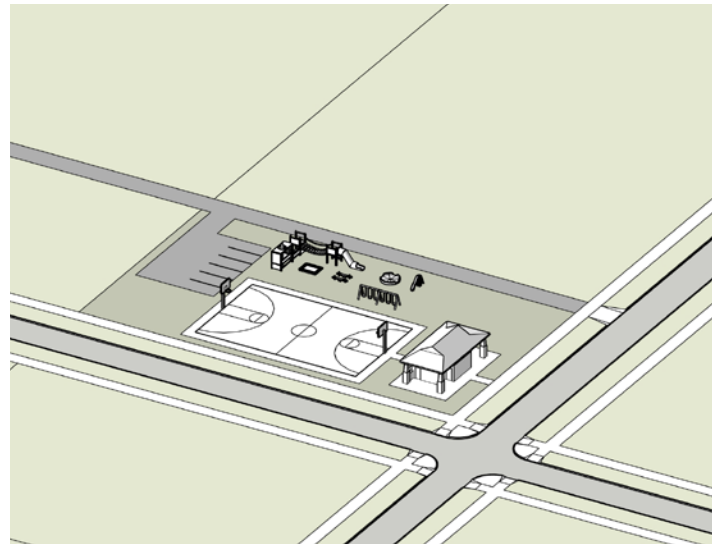
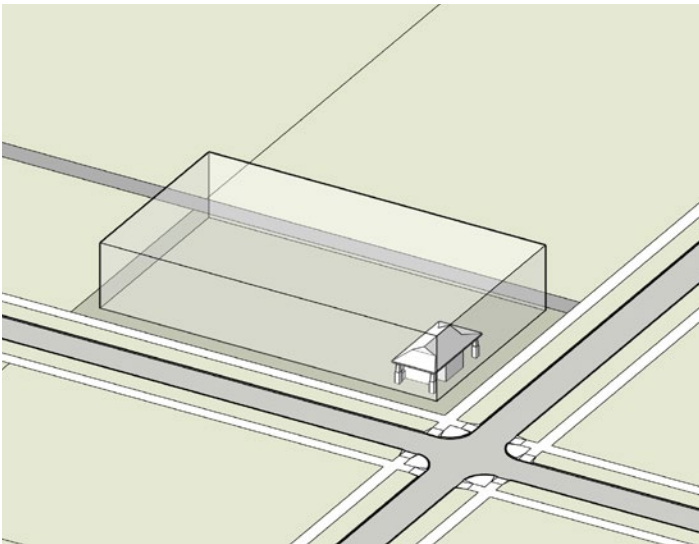
A. Lot Standards



1. Lot Size	
Ⓐ Lot area (min)	20,000 SF
Ⓑ Lot width (min)	100'
2. Dwelling Units	
Dwelling units per building (max)	n/a
3. Coverage	
Ⓒ Building coverage (max)	50%
Amenity space (min)	n/a

4. Building Setbacks	
Ⓓ Primary street (min)	10'
Ⓔ Side street (min)	10'
Ⓕ Side (min)	10'
Rear (min)	10'
Ⓖ Alley (min)	3'
5. Build-to	
Primary street (min)	n/a
Side street (min)	n/a
6. Parking Location	
Parking between building & street	Allowed

B. Building Standards

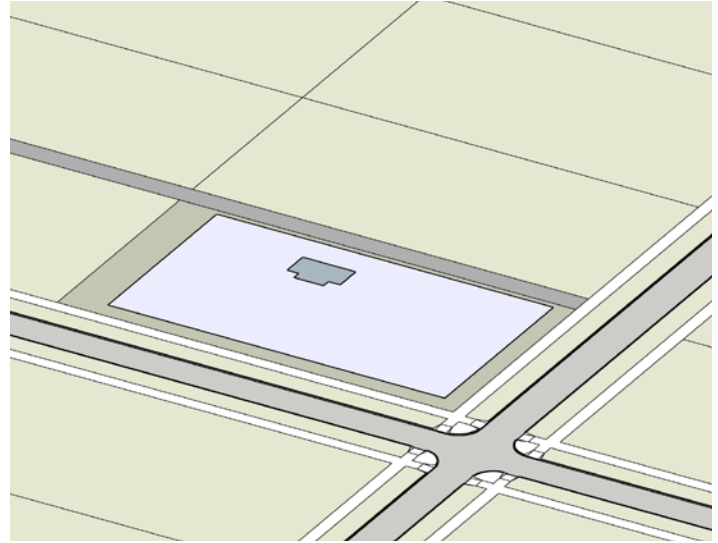
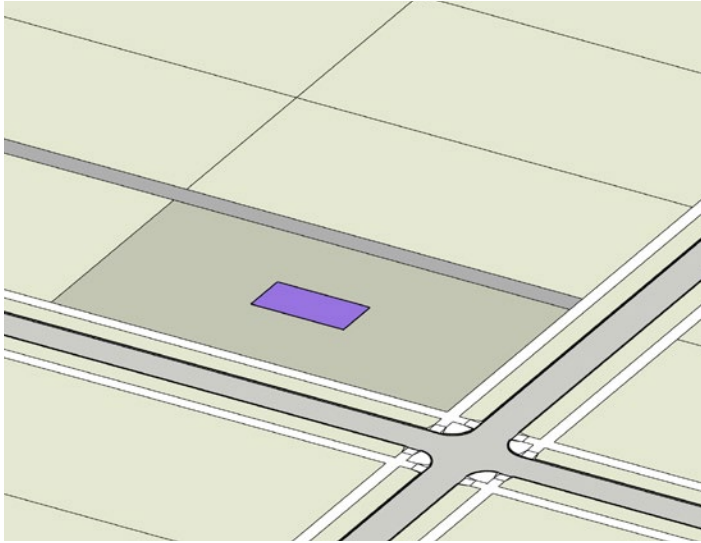


1. Massing	
Ⓐ Building height (max)	35'
Building width (max)	n/a
2. Active Depth	
Primary street (min)	n/a
Side street (min)	n/a
3. Ground Story	
Ground story height (min)	n/a
Finished floor elevation (min/max)	n/a

	Primary St.	Side St.
4. Windows		
Ground story (min)	n/a	n/a
Upper story (min)	n/a	n/a
Blank wall width (max)	n/a	n/a
5. Doors		
Street-facing entry spacing (max)	n/a	n/a

2.5.4. **CEM** CEMETERY

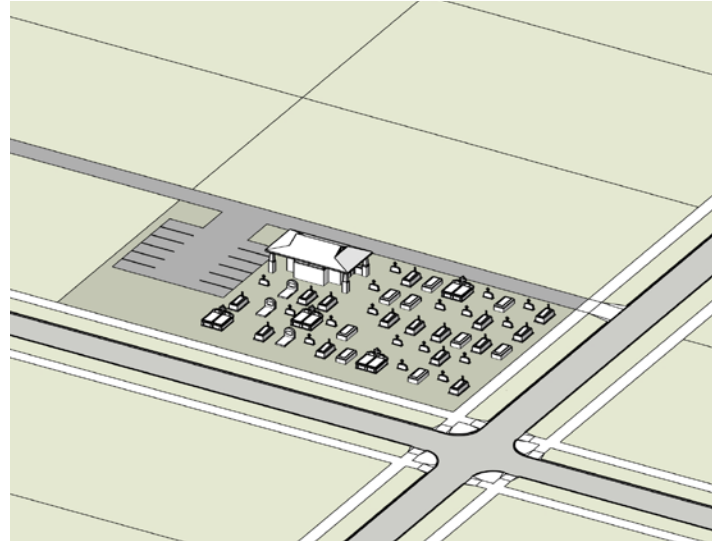
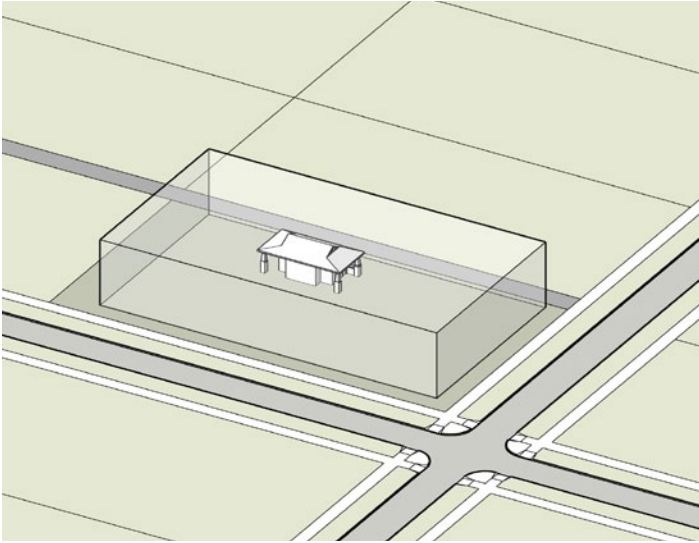
A. Lot Standards



1. Lot Size	
Ⓐ Lot area (min)	20,000 SF
Ⓑ Lot width (min)	100'
2. Dwelling Units	
Dwelling units per building (max)	n/a
3. Coverage	
Ⓒ Building coverage (max)	5%
Amenity space (min)	n/a

4. Building Setbacks	
Ⓓ Primary street (min)	10'
Ⓔ Side street (min)	10'
Ⓕ Side (min)	10'
Rear (min)	10'
Ⓖ Alley (min)	3'
5. Build-to	
Primary street (min)	n/a
Side street (min)	n/a
6. Parking Location	
Parking between building & street	Allowed

B. Building Standards



1. Massing	
Ⓐ Building height (max)	35'
Building width (max)	n/a
2. Active Depth	
Primary street (min)	n/a
Side street (min)	n/a
3. Ground Story	
Ground story height (min)	n/a
Finished floor elevation (min/max)	n/a

	Primary St.	Side St.
4. Windows		
Ground story (min)	n/a	n/a
Upper story (min)	n/a	n/a
Blank wall width (max)	n/a	n/a
5. Doors		
Street-facing entry spacing (max)	n/a	n/a

SEC. 2.6. **RULES OF INTERPRETATION**

2.6.1. **General Terms and Designations**

A. Intent

To provide a set of general terms and designations, including definitions and standards, for terminology primarily used in this Article. Definitions and standards for terms used more broadly throughout the Code are found in *Article 6. Definitions*.

B. Street Designation

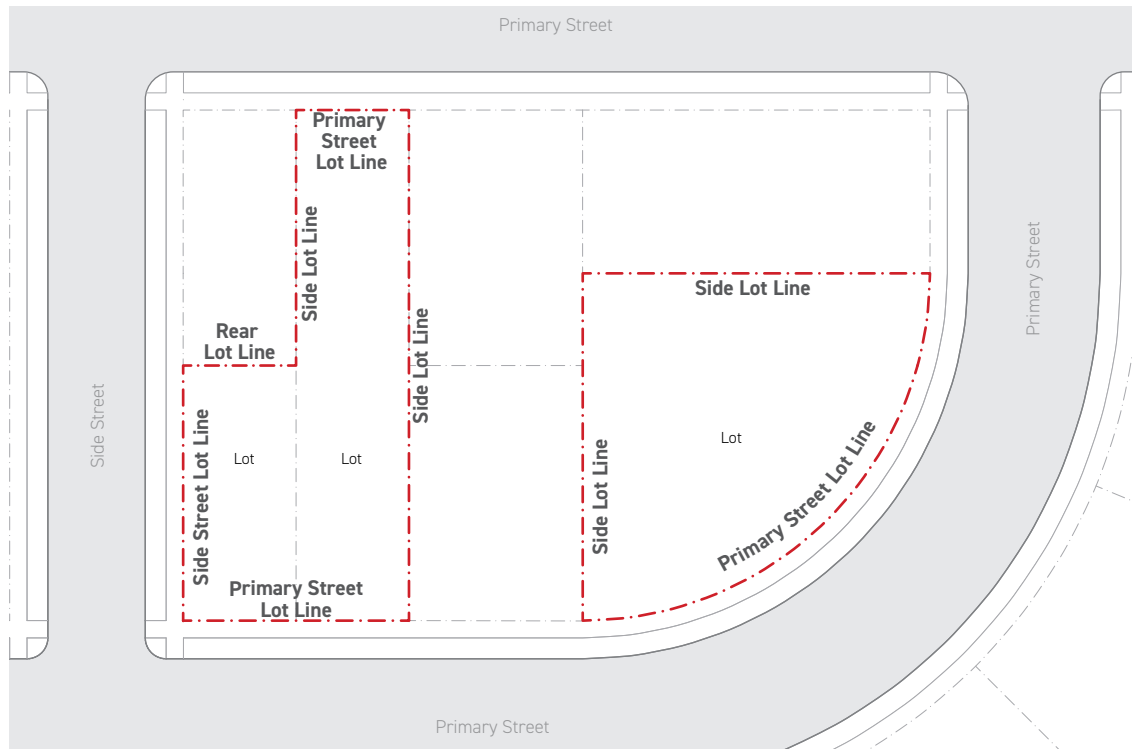
1. Primary and Side Street Designations

- a. All streets abutting a lot must be designated as either a primary street or side street.
- b. When a lot abuts only one street, the street is considered a primary street.
- c. A lot abutting multiple streets must designate at least one as a primary street.
- d. A lot may abut more than one primary street.
- e. For lots that abut multiple streets, the Administrator will determine primary streets using the following criteria listed from most important to less important:
 - i. The street or streets with the highest classification;
 - ii. The established orientation of the block;
 - iii. The street abutting the longest face of the block; and
 - iv. The street parallel to an alley within the block.
- f. Any street not designated as a primary street is a side street.

C. Lot Line Designation

1. General

- a. Lot lines are designated for lots only, lot lines are not designated for sublots.
- b. Each lot line must have one of the following designations and no lot line may have more than one of the following designations:
 - i. Primary street lot line;
 - ii. Side street lot line;
 - iii. Alley lot line;
 - iv. Rear lot line; or
 - v. Side lot line.



- c. Primary street lot line and side street lot line designations apply to public and private streets. Alley lot line designation applies to public and private alleys.
- d. In addition to any other designation, lot lines may also serve as one of the following categories:
 - i. Street lot line; or
 - ii. Common lot line.

2. Primary Street Lot Line

Any lot line that abuts a primary street.

- a. Each lot must have at least one primary street lot line. A lot may have more than one primary street lot line.
- b. A lot line abutting a park, open space, river, trail, or pedestrian path may serve as a primary street lot line.
- c. Once designated for a lot, a primary street lot line cannot be changed (e.g., a primary street lot line cannot, for the purposes of subsequent development, be re-designated as a side street lot line) unless all standards of the applicable zoning district are met based on the proposed change in street lot line designation.

3. Side Street Lot Line

Any lot line that abuts a side street. Any street lot line that is not a primary street lot line is considered a side street lot line.

4. Alley Lot Line

Any lot line that abuts an alley. Even when a lot line qualifies as a rear lot line or side lot line, all lot lines that abut an alley are considered an alley lot line.

5. Rear Lot Line

Any lot line that does not abut a street or alley and is opposite and most distant from a primary street lot line.

- a. A lot may have no more than one rear lot line.
- b. In the case of a lot that fronts two streets on opposite sides, a lot may have no rear lot line.
- c. Where no lot line is clearly opposite to the primary street lot line or where there are multiple primary street lot lines, the lot line having the highest portion of its length serving as the rear lot line of abutting lots is the rear lot line.

6. Side Lot Line

Any lot line other than a primary street, side street, rear, or alley lot line.

7. Street Lot Line

Any lot line that abuts a street. Street lot lines include all primary street lot lines and side street lot lines.

8. Common Lot Line

Any lot line shared by 2 or more lots. All side and rear lot lines that do not abut a street or alley are common lot lines.

D. Yard Designation

1. General

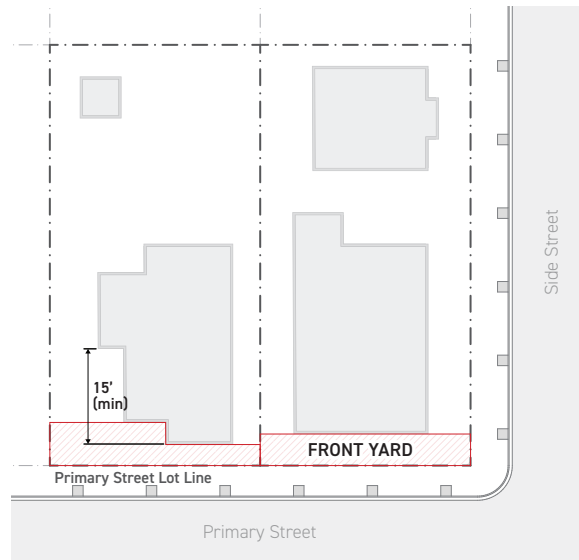
- a. All portions of a lot between the facade of a building and a property line will fall within one of the following yard designations: front yard, side street yard, side yard, or rear yard.
- b. No portion of a lot may have more than one yard designation.
- c. Yard designations are determined in the following order: (1) front yard, (2) side street yard, if any; (3) rear yard, if any; and (4) side yards, if any.

2. Front Yard

All portions of a lot between a primary street lot line and a primary structure facing a primary street lot line extending the full width of the lot.

- a. A front yard does not include a building facade set back more than 15 feet from the primary building's street-facing facade.

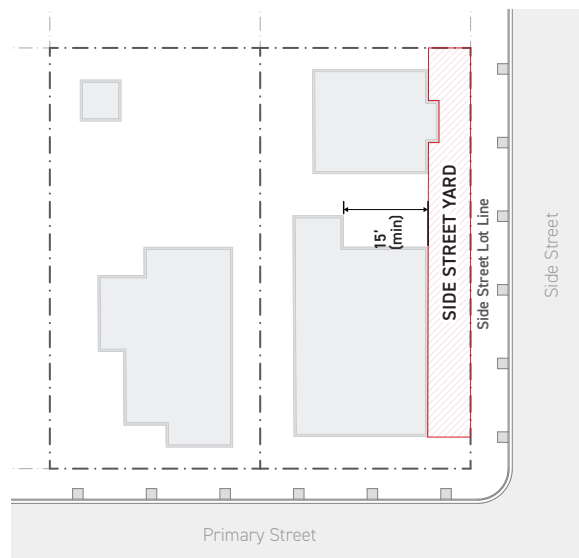
- b. Any portion of a lot that is designated as a front yard may not be designated as any other yard.



3. Side Street Yard

All portions of a lot between a side street lot line and a primary structure facing a side street lot line extending the full depth of the lot.

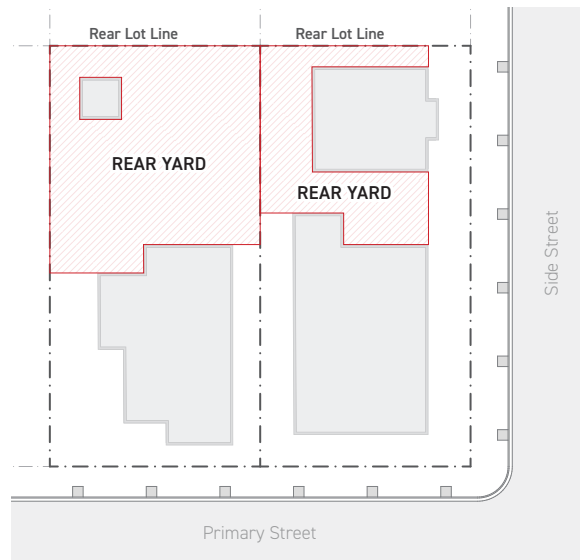
- a. A side street yard does not include any building facade set back more than 15 feet from the primary building's street-facing facade.
- b. For portions of the lot where no primary structure abuts the side street yard, the side street yard includes only portions of the lot included in the side street setback, see [2.6.5. Building Setbacks](#).
- c. A side street yard does not include any portion of a lot that may be designated as a front yard.



4. Rear Yard

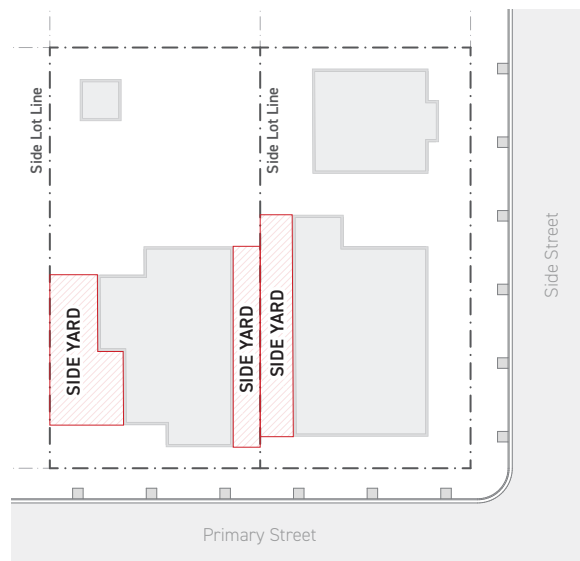
All portions of a lot between a rear lot line and a primary structure facing the rear lot line for the full width of the lot.

- a. A rear yard does not include any portion of a lot that may be designated as a front yard or side street yard.
- b. Any portion of a lot that is designated as a rear yard may not be designated as a side yard.



5. Side Yard

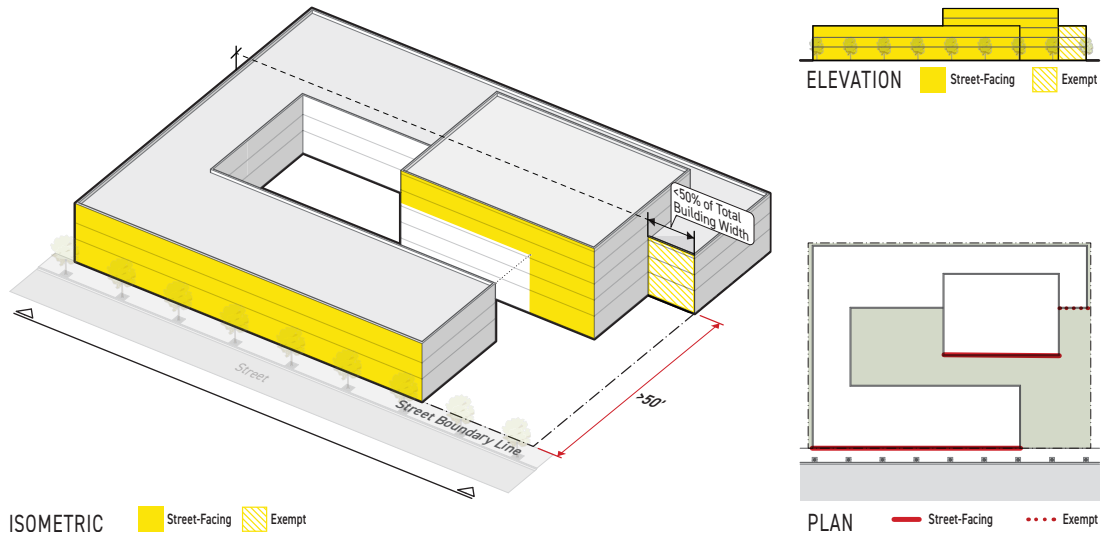
All portions of a lot between a side lot line and a primary structure. Portions of a lot that do not meet the yard designation criteria for any other yard are designated as side yard.



E. Street-Facing Building Facades

The portions of a building facade (when projected parallel to the street) with no permanent structure located between the building facade and the primary or side street lot line.

- 1. Building facades located more than 50 feet behind the primary or side street lot line are exempt from any street-facing requirements, provided the cumulative width of the exempted facade is no wider than 50% of the total building width.



2.6.2. Lot Size

A. Area

The total square footage within the boundaries of a lot.

1. Intent

To help ensure newly established lots are generally consistent with desirable development patterns in the neighborhood and within the same zoning district.

2. Applicability

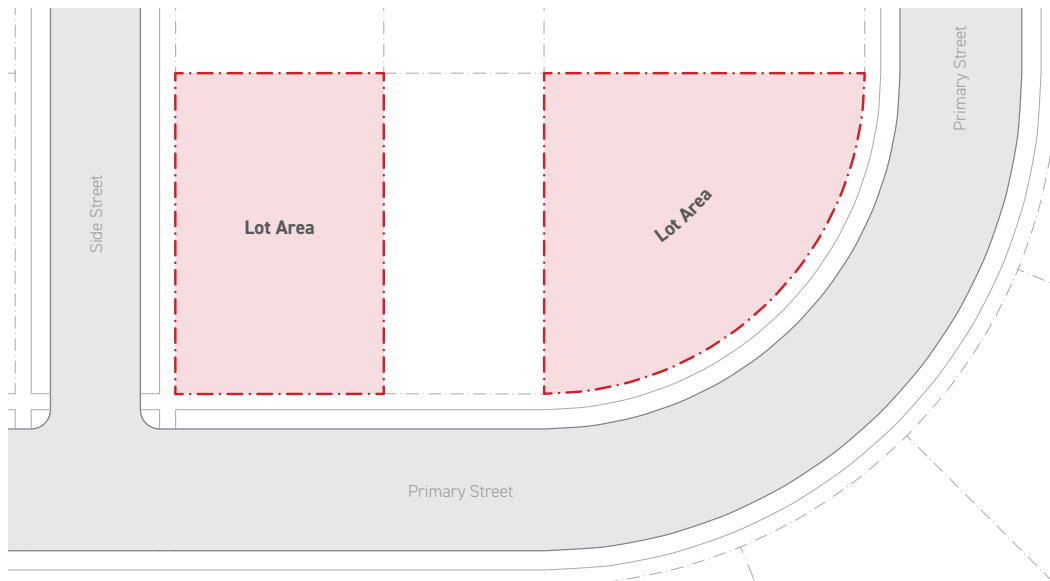
- a. The minimum lot area requirement applies to lots approved and recorded on or after the effective date of this Code.
- b. Any use allowed in the zoning district may be established on a lot lawfully created and recorded before the effective date of this Code, regardless of size of the lot, provided, that all other requirements of this Code are met.

3. Standards

Every lot must have an area no less than the minimum lot area required by the zoning district.

4. Measurement

- a. Lot area is measured as the total land area within the boundaries of a lot.
- b. Lot area includes all portions of a lot allocated for required easements.
- c. Lot area does not include portions of a lot required for land dedicated to public use.



B. Width

The length of primary street lot lines bounding a lot.

1. Intent

To help ensure newly established lots are generally consistent with desirable development patterns in the neighborhood and within the same zoning district, and to help ensure safe and adequate vehicular access to and from a lot.

2. Applicability

- a. The minimum width requirement applies to lots approved and recorded on or after the effective date of this Code.
- b. Any use allowed in the zoning district may be established on a lot approved and recorded before the effective date of this Code, regardless of the width of the lot, provided, that all other requirements of this Code are met.

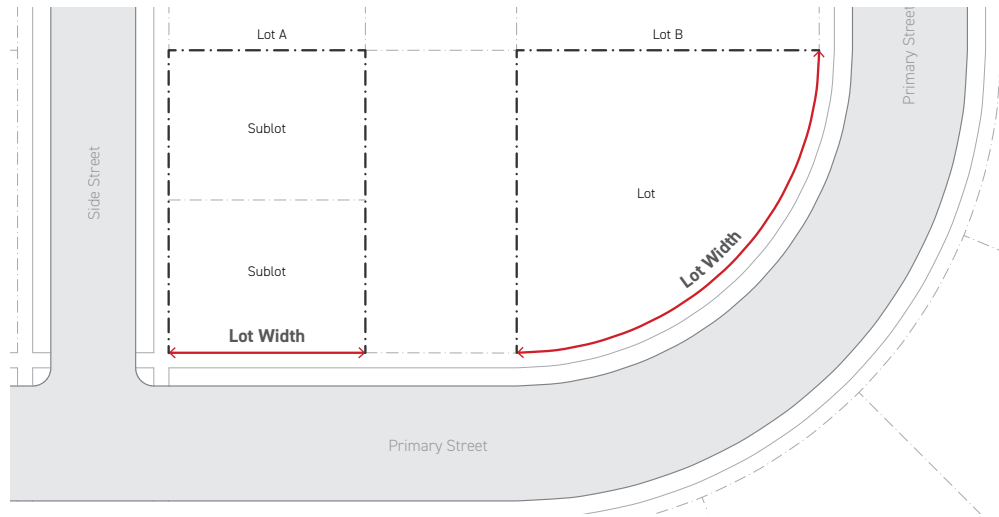
3. Standards

Every lot must have an area no less than the minimum lot width required by the zoning district.

4. Measurement

- a. Lot width is measured following the geometry of all primary street lot lines that bound the lot.

- b. Where a lot has 2 or more primary street lot lines facing different streets, all primary street lot lines must meet the minimum width standard.



2.6.3. Dwelling Units

A. Dwelling Units per Lot

The maximum number of dwelling units allowed on a lot.

1. Intent

To promote a full range of housing choices and ensure the number of dwelling units allowed on a lot is aligned with the zoning district intentions and is physically compatible with the lot itself.

2. Applicability

The limitation on the number of dwelling units per lot applies to all lots.

3. Standards

- a. A lot cannot exceed the maximum number of dwelling units allowed by the zoning district.
- b. Dwelling units may be detached or attached.

B. Dwelling Units Per Building

The maximum number of dwelling units allowed in a building.

1. Intent

To help ensure that the size and scale of buildings are generally consistent with the mass and scale requirements of a zoning district.

2. Applicability

The limitation on the number of dwelling units in a building applies to each building on the lot.

3. Standards

A building cannot have more than the maximum number of dwelling units allowed by the zoning district.

2.6.4. Coverage

A. Building Coverage

The percentage of lot area covered by buildings or structures.

1. Intent

To help preserve open area and reduce the bulk of buildings by limiting the amount of buildings or structures that cover a lot.

2. Applicability

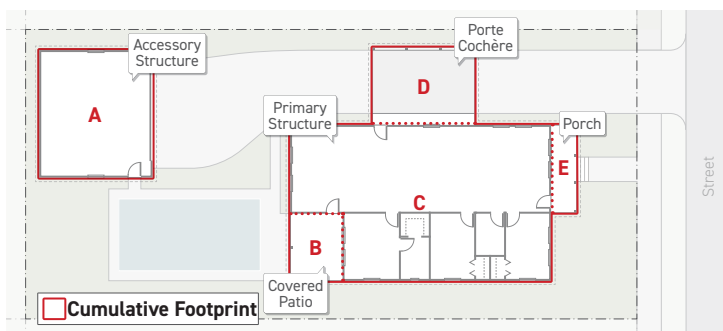
The maximum building coverage requirements apply to all lots.

3. Standards

Buildings or covered structures on a lot cannot have a cumulative area in excess of the maximum building coverage allowed by the zoning district.

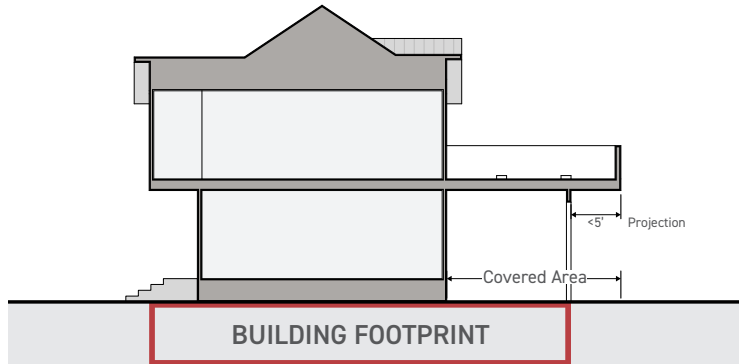
4. Measurement

- a. Building coverage is measured cumulatively for the entire lot.
- b. Building coverage is measured by dividing the building footprint of all covered buildings and structures on the lot by the lot area.



$$\begin{array}{r}
 \text{Area A} \\
 + \text{ Area B} \\
 + \text{ Area C} \\
 + \text{ Area D} \\
 + \text{ Area E} \\
 \hline
 \text{Cumulative} \\
 \text{Structure} \\
 \text{Footprint}
 \end{array}
 \begin{array}{r}
 \text{(Cumulative} \\
 \text{Structure} \\
 \text{Footprint)} \\
 \div \\
 \text{(Total Lot Area)} \\
 \hline
 \text{Building Coverage}
 \end{array}$$

- c. The calculation of the building footprint does not include portions of architectural projections (including roof overhangs and projected balconies) that are less than 5 feet from the nearest wall, column, spanning beam, or other structural element carrying gravity loads to the ground.



B. Outdoor Amenity Space

An outdoor area on a lot designated to be used for active or passive recreation.

1. Intent

- a. To help provide adequate recreation and open space areas for developments, and to ensure such spaces are accessible, usable, and safe; and
- b. To encourage high-quality, pedestrian-oriented, and publicly accessible gathering spaces along the street.

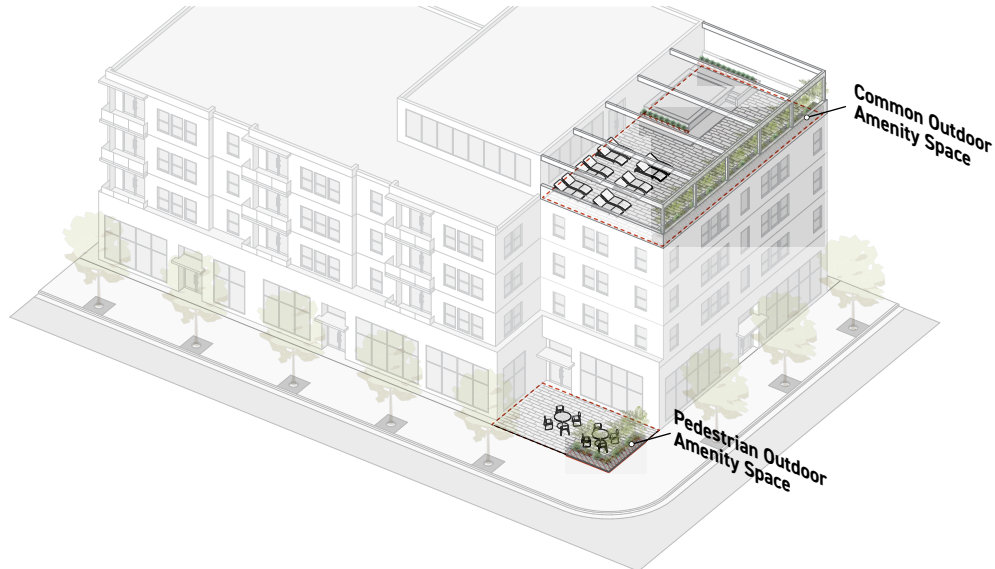
2. Applicability

- a. The outdoor amenity space requirements apply to all lots.
- b. Where the calculation of outdoor amenity space requires less than 400 square feet, no amenity space is required.

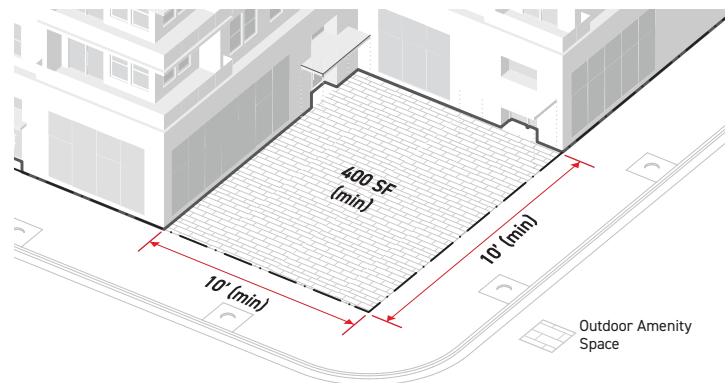
3. Standards

a. General

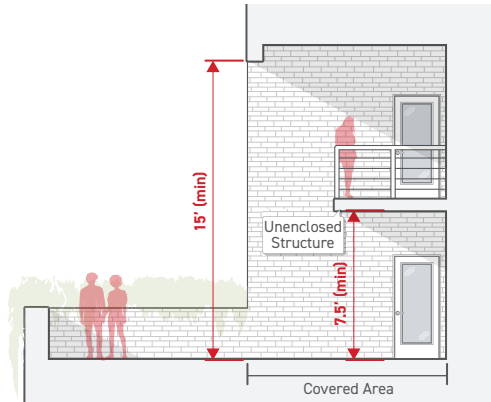
- i. The cumulative area of outdoor amenity space provided on a lot cannot be less than required by the zoning district.
- ii. The required amenity space must be classified as either Common Outdoor Amenity Space or Pedestrian Outdoor Amenity Space, and must meet the standards according to the classification.



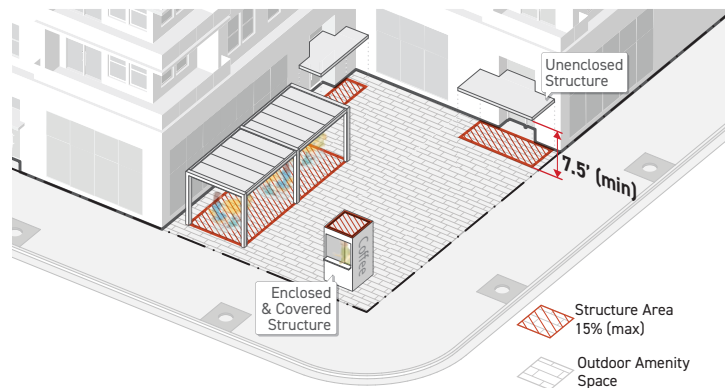
- iii. Each outdoor amenity space must have a minimum area of 400 square feet, and no horizontal dimension of less than 10 feet, measured perpendicular to any boundary of the space.



- iv. Outdoor amenity space can be covered but cannot be enclosed.
- v. Outdoor amenity space that is covered must have a minimum clear height of 15 feet.
- vi. No portion of an outdoor amenity space can have a clear height of less than 7.5 feet.



- vii. Enclosed accessory structures and roofed accessory structures are allowed within an outdoor amenity space provided they cover a cumulative area no greater than 25% of the outdoor amenity space area.



- viii. A minimum of 20% of the total area of each outdoor amenity space must be planted area and meet the requirements of **XXX. Landscaping**.
- ix. For every 400 square feet of outdoor amenity space, two permanent or movable seats must be provided. Two linear feet of bench or seat wall are counted as 1 seat.

b. Common Outdoor Amenity Space

Type of outdoor amenity space generally reserved for use by building occupants and may not be accessible to the public. Examples include roof decks, pool amenity areas, and courtyards.

Common outdoor amenity space must meet all of the general standards for outdoor amenity space in addition to the following requirements:

- i. Each square foot of common outdoor amenity space provided counts as 1 square foot of required outdoor amenity space.
- ii. Common outdoor amenity space must be made available to all occupants of a building, at no cost, during the hours of operation of the building. The space may not be permanently

- reserved or in any way exclude any occupant during the time it is required to be made available to all occupants.
- iii. Building facades adjacent to common outdoor amenity space must have a minimum transparency of 15% for each story.
 - iv. Common outdoor amenity space cannot be located in a required transition setback area based on the requirements of **XXX. Transitions**.

c. Pedestrian Outdoor Amenity Space

Type of outdoor amenity space that is publicly accessible and located in close proximity to the public sidewalk. Examples include patios and plazas.

Pedestrian outdoor amenity space must meet all of the general standards for outdoor amenity space in addition to the following requirements:

- i. Each square foot of pedestrian outdoor amenity space provided counts as 2 square feet of required outdoor amenity space.
- ii. A minimum of 25% of the pedestrian outdoor amenity space perimeter must abut and be directly accessible from the sidewalk along a primary or side street.
- iii. Pedestrian outdoor amenity space cannot be separated from this public sidewalk by any structure for more than 40% of the width of the amenity space, with the exception of a wall or fence 42 inches in height or the maximum height specified by the zoning district, whichever is less. The allowed wall or fence must provide openings for pedestrian access at least once every 35 feet.
- iv. The finished floor or ground surface of a pedestrian outdoor amenity space must be located either at the same grade as the sidewalk, or within the minimum and maximum finished floor elevations specified by the zoning district (see **2.6.10.B. Finished Floor Elevation**).
- v. All building facades facing pedestrian outdoor amenity space must meet the transparency and entrances standards required by the zoning district for the applicable primary or side street frontage.
- vi. Mechanical and utility equipment cannot be located within a pedestrian outdoor amenity space, or between a pedestrian outdoor amenity space and an adjacent building facade.

4. Measurement

The minimum required outdoor amenity space is calculated by multiplying the total lot area by the minimum outdoor amenity space percentage specified by the zoning district.

2.6.5. Building Setbacks

The area on a lot not intended for buildings and structures. Includes primary street setbacks, side street setbacks, side setbacks, rear setbacks, and alley setbacks.

A. Intent

To provide open areas on a site and help reduce the impact of buildings or structures on abutting sidewalks and neighboring development.

B. Applicability

The building setback requirements apply to all lots.

C. Standards

1. Minimum Setbacks

All buildings and structures on a lot must be located at or behind the minimum building setback specified by the zoning district, unless listed as an exception below.

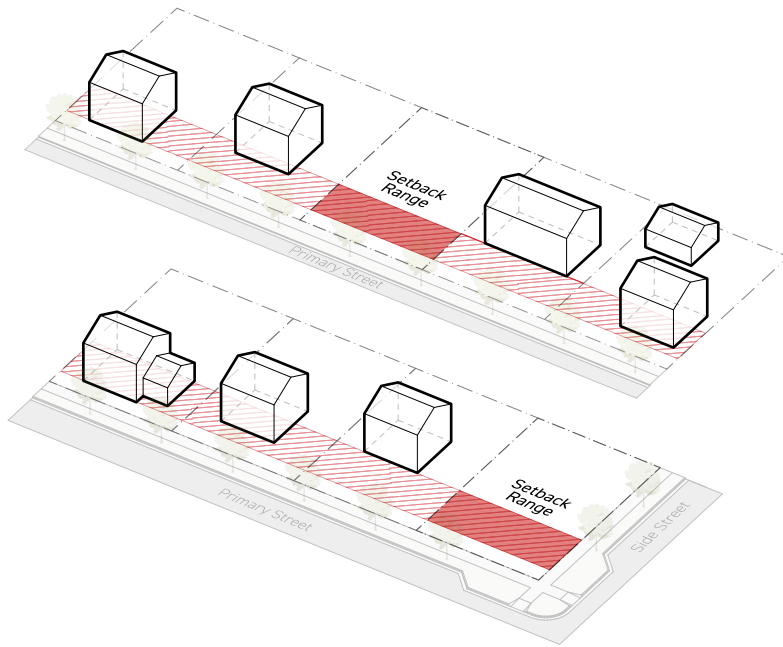
2. Maximum Setbacks

Zoning districts with a build-to width requirement have a required maximum setback, in addition to a required minimum building setback. In these districts, a certain portion of the building must be located at or in front of the maximum building setback specified by the district. For requirements related to the build-to width, see [2.6.6. Build-to](#).

3. Existing Range

When the zoning district specifies as “existing range,” the primary street setback can be modified as follows:

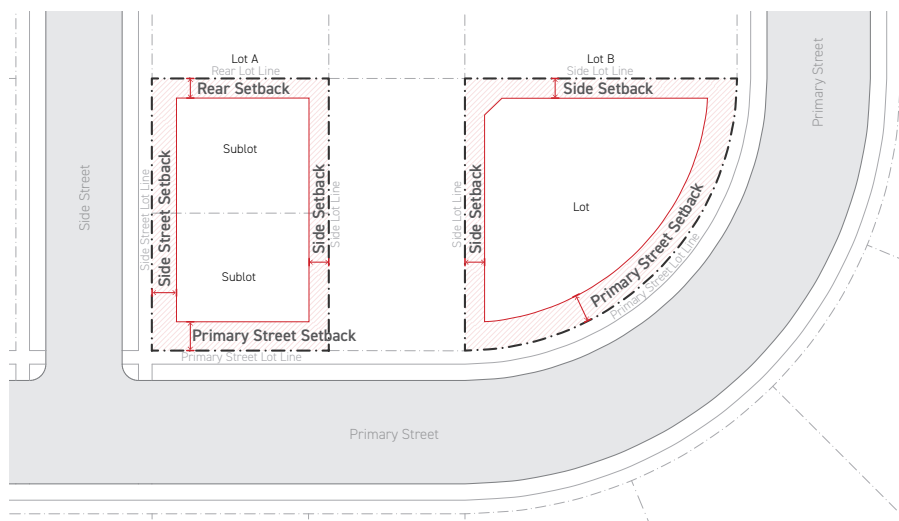
- a. The required primary street setback must be met within the range of existing primary street setbacks, no closer than the smallest setback in the range and no further than the largest setback in the range.
- b. On an interior site, the range of setbacks is measured on the basis of the 2 closest existing lots in either direction along the block face.
- c. On a corner lot, the range of setbacks is measured on the basis of the 3 closest existing zoning lots along the block face.



- d. If any lot included in the setback range calculation has no dwelling unit on the front half of the lot or the lot is vacant, the lot must be disregarded for the purpose of calculating the established setback range.
- e. If it is determined that the setback range cannot be adequately calculated, the setback range specified for the zoning district must be met.

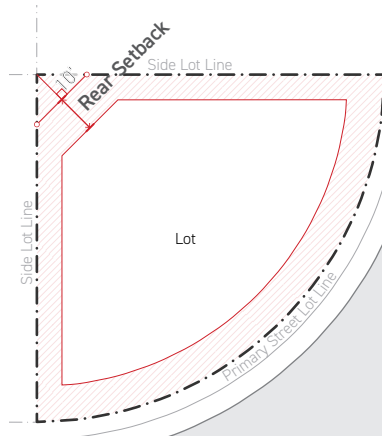
D. Measurement

- 1. All building setbacks are measured perpendicular to the applicable lot line.
- 2. Where a lot line abuts an access easement, the setback may be measured from the interior edge of the easement rather than the lot line.



- 3. Primary street setback is measured from the primary street lot line.
- 4. Side street setback is measured from the side street lot line.

5. Rear setback is measured from the rear lot line.
 - a. For determining the rear setback for a triangular or gore-shaped lot, the rear lot line is measured from a 10-foot wide line, parallel to the primary street lot line that intersects two side lots lines at its endpoints.
 - b. For instances where the primary street lot line is not straight, the rear lot line must be parallel to a line connecting the end points of the primary street lot line.



6. Alley setback is measured from the alley lot line.

E. Exceptions

1. Limited Encroachments

The following are allowed to encroach beyond the building setback up to the minimum distance from the lot line specified below. The encroachments only apply when the zoning district's setbacks are equal to or larger than the allowed encroachment setbacks specified below.

		SETBACK		
		Primary St. / Side St.	Side / Rear	Alley
Architectural Details	XXX.			
Encroachment (max)		2'	2'	2'
Distance from lot line (min)		0'	2'	1.5'
Roof Projections	XXX.			
Encroachment (max)		2.5'	2.5'	2.5'
Distance from lot line (min)		0'	2'	1.5'
Unenclosed Structures: Ground Story	XXX.			
Encroachment (max)		8'	3'	3'
Distance from lot line (min)		0'	2'	0'
Unenclosed Structures: Upper Story	XXX.			
Encroachment (max)		5'	3'	5'
Distance from lot line (min)		0'	2'	1.5'
Enclosed Structures	XXX.			
Encroachment (max)		2.5'	1.5'	2.5'
Distance from lot line (min)		0'	2'	1.5'
Mechanical and Electrical Equipment	XXX.			
Ground Mounted				
Encroachment (max)		not allowed	2.5'	2.5'
Distance from lot line (min)		--	2.5'	2'
Wall Mounted				
Encroachment (max)		not allowed	1.5'	1.5'
Distance from lot line (min)		--	2.5'	2'
Waste Enclosure	XXX.			
Encroachment (max)		not allowed	5'	5'
Distance from lot line (min)		--	5'	5'
Signs			see XX. Signs	

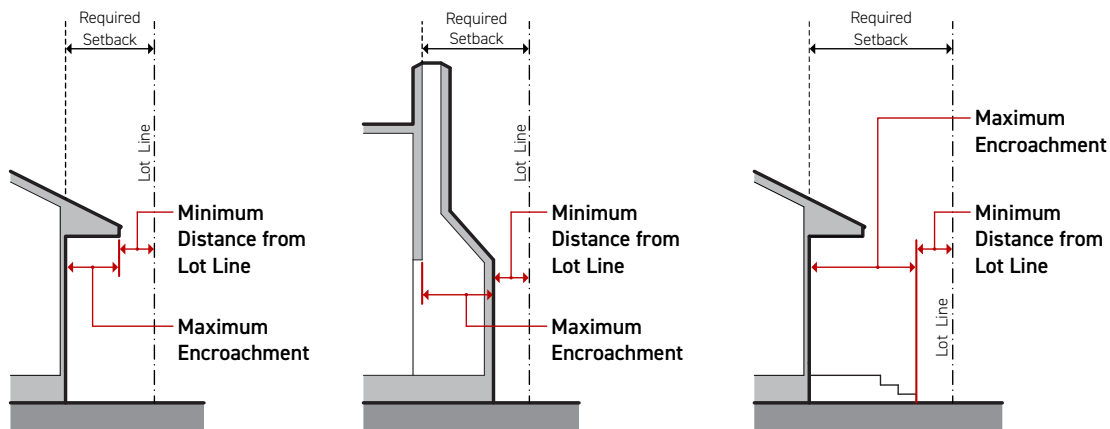
2. Unlimited Encroachments

The following may encroach into a required setback to the extent necessary to perform their proper function:

- a. Accessibility ramps and lifts and fire escapes;
- b. Covered structures located entirely below grade. Examples include footings, cellars, basements, storm water storage, and cisterns;
- c. Sidewalks, multi-use paths, ramps, driveways, patios, and decks 2.5 feet in height or less, measured from finished grade;
- d. Fences and walls;
- e. Plants. Examples include trees, shrubs, flowers, herbs, vegetables, grasses, ferns, mosses, and associated planters and raised planting beds, if applicable;
- f. Low impact development (LID) stormwater devices approved by the City; and
- g. Permanent or movable furniture. Examples include benches, tables, and bike and scooter parking racks.

3. Measurement of Encroachments

- a. Encroachment is measured as the horizontal distance from the edge of the area where structures are restricted.
- b. Distance from lot line is measured as the horizontal distance from a lot line. Distance from lot line is measured toward the interior of the lot line along the full perimeter of the lot line.



2.6.6. Build-To

The amount of building that occupies the build-to zone relative to the width of the lots at the street lot line.

A. Intent

To regulate the placement of buildings so that buildings frame the public realm with a consistent street wall.

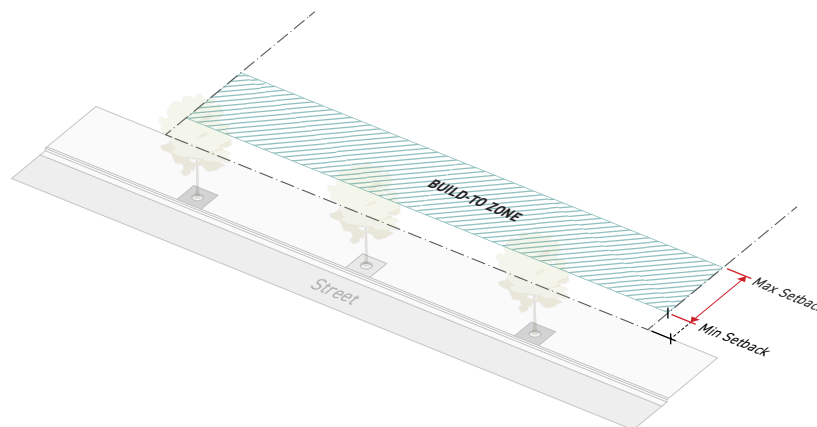
B. Applicability

1. The build-to applies to all lots.
2. The build-to requirements apply to the ground story of the building only. The ground story is determined according to [2.6.8.A, Building Height](#).
3. For through lots, the Administrator may waive or vary the build-to requirement for one of the street lot lines. The Administrator will consider the following standards when making the decision to waive or vary the requirement for one street lot line:
 - a. The proposed number and arrangement of units on the lot to determine if meeting the build-to width requirement is practical for all street lot lines; and
 - b. The prevailing pattern of development on the surrounding parcels to determine which street must meet the build-to requirement and which street can waive or vary the requirement.

C. Standards

1. General

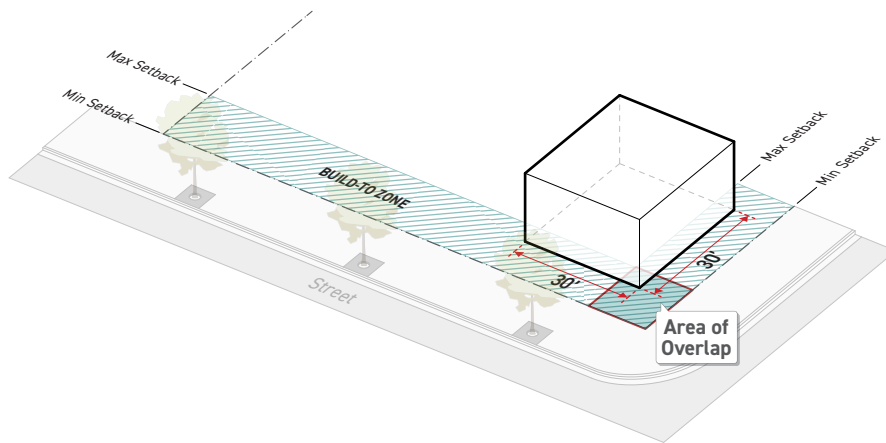
- a. The build-to zone is the area on the lot between the minimum and maximum building setbacks, for the full width of the lot.
- b. The build-to zone is measured from the primary or side street lot line. The build-to zone starts at the minimum building setback and extends to the maximum building setback.



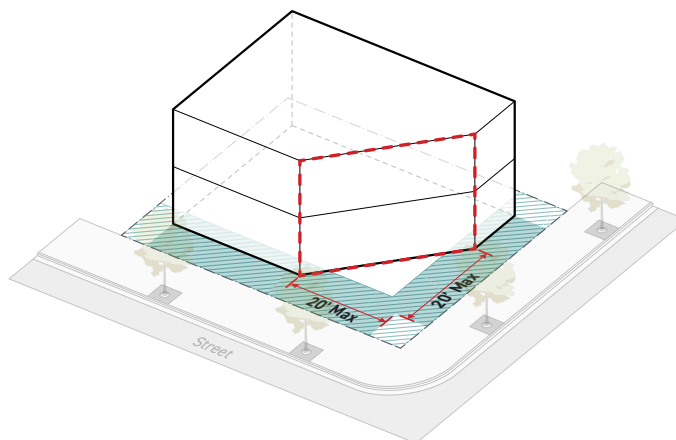
- c. No building or portion of a building facade can be located outside of the build-to zone, until the build-to requirement for the lot, as specified for the zoning district, has been met.
- d. Once the minimum build-to requirement has been met, buildings and structures may be located in the area behind the maximum building setback.

2. Corner Lots

- a. On corner lots where both streets have build-to width requirements, a building must occupy the portion of the area where the two intersecting build-to zones overlap. The building must occupy the build-to zones for both streets lot lines for a minimum of 30 feet from the corner. The minimum requirement is measured starting at the edge of the building occupying the area of overlap and moving away from the corner, parallel to the street lot line. This counts toward the required build-to width for both street lot lines.



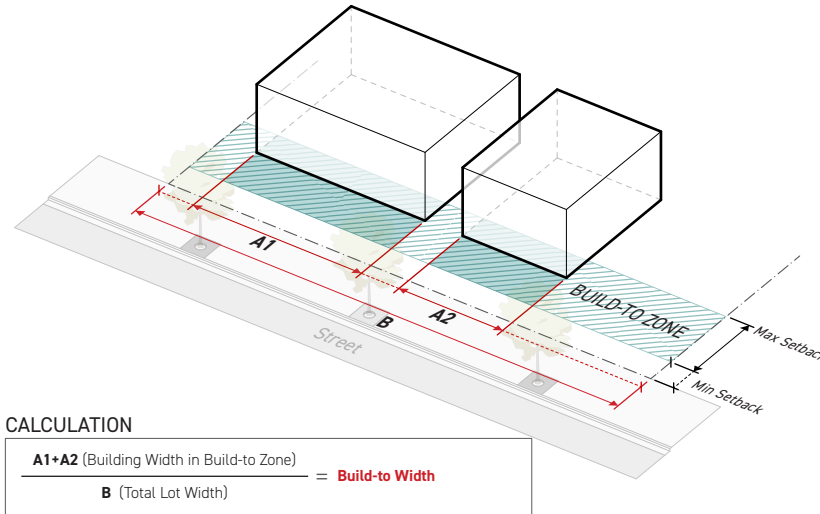
- b. A chamfered corner no more than 20 feet in width along both street lot lines qualifies as a building in the build-to zone even where it extends outside of the build-to zone. Chamfered corner width is measured parallel to the street lot line.



- c. Corner lot standards do not apply when a pedestrian outdoor amenity space occupies the same portion of the area of overlap and is being used to count toward the build-to requirement.

D. Measurement

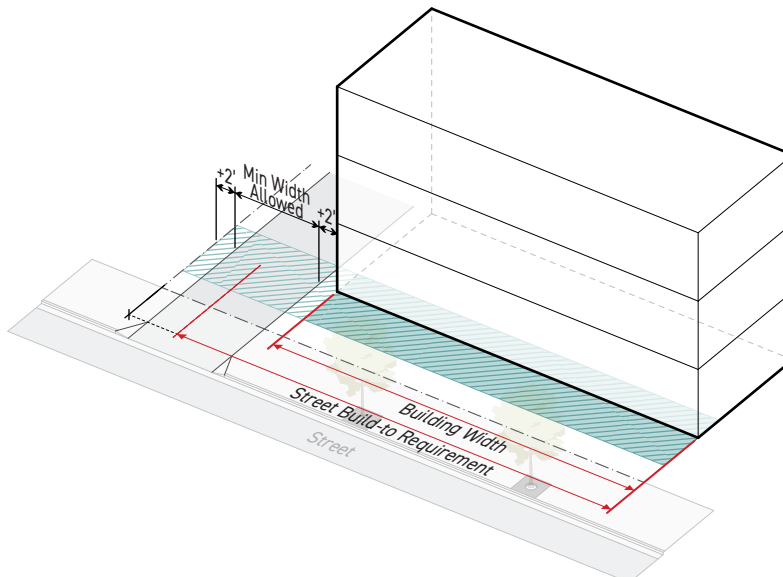
1. The build-to is a percentage measured as the sum of all building facades occupying the build-to zone, divided by the total lot width.
2. The build-to is calculated separately along each street lot line where a build-to is required.



E. Exceptions

1. Vehicular Access Allowance

Where vehicular access is allowed from a street and providing access prevents a building from meeting the build-to requirement, a reduced build-to width may be allowed by the Administrator, provided the portion of the lot in the build-to zone used for vehicle access is no wider than the minimum required driveway width plus an additional 4 feet of width for clearance. See XXX. **Vehicle Access.**

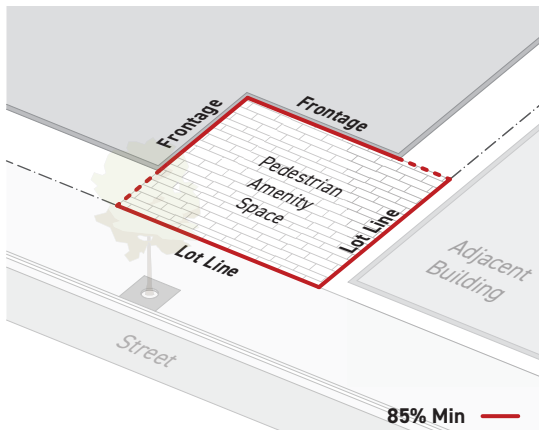


2. Pedestrian Outdoor Amenity Space Allowance

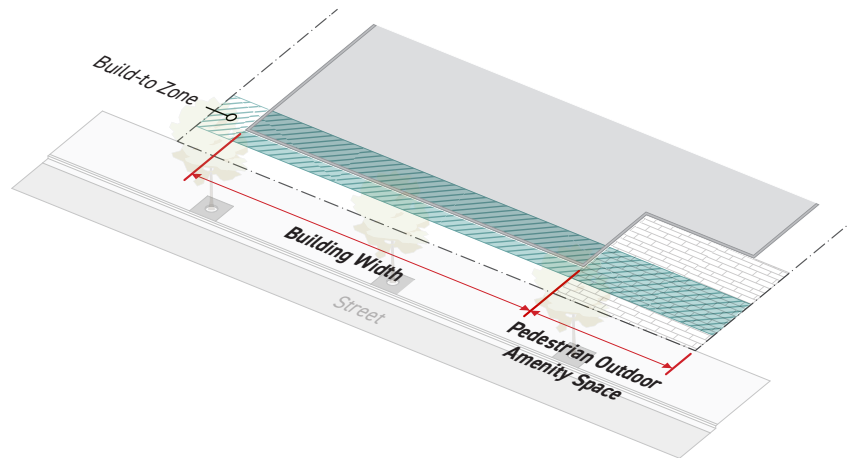
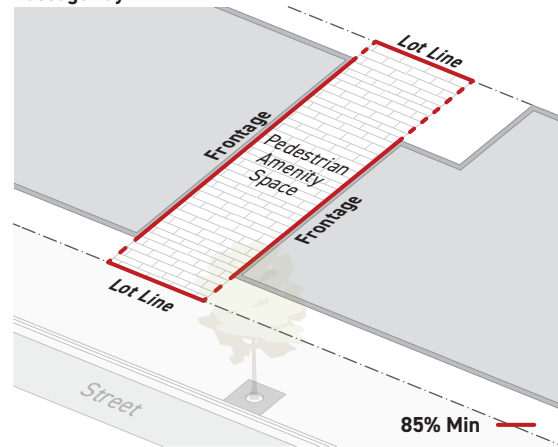
Space meeting the requirements for pedestrian outdoor amenity space (2.6.4.B, *Outdoor Amenity Space*) may be provided as a substitute for the build-to requirement, provided the following standards are met:

- a. A minimum of 85% of the pedestrian outdoor amenity space perimeter must abut either a lot line or a facade meeting the standards of the zoning district specified for the abutting street lot line.
- b. Where pedestrian outdoor amenity space abuts multiple street lot lines, the standards specified for the street lot line that abuts the pedestrian outdoor amenity space for the greatest length applies.

Plaza:



Passageway:



2.6.7. Parking Location

A. Between the Building and Street

1. Intent

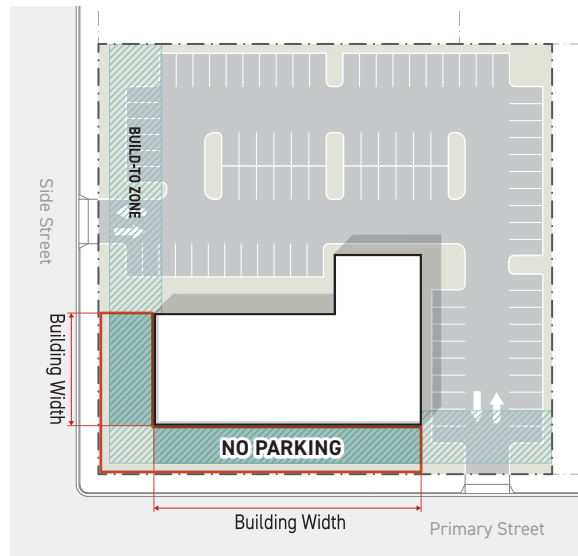
To minimize the impact of auto-dominated areas on the public realm and to promote a comfortable, safe, engaging and attractive streetscape with active uses and landscaping along the public realm.

2. Applicability

The parking location limitations apply to all zoning lots.

3. Standards

- a. No parking or area designed for use by a motor vehicle use can be located between the portion of a building used to meet the build-to requirement and the street, when specified by the zoning district.



- b. All parking lots and other areas designed for use by a motor vehicles that abut the primary or side street lot line must be screened in accordance with **XX. Frontage Screens**.
- c. See **XX, Parking** for additional parking and parking area requirements.

4. Measurement

For determination of build-to see 2.6.6. *Build-to*.

2.6.8. Massing

A. Building Height

The vertical dimension of a building or structure measured in feet and stories.

1. Intent

To help provide adequate light, air, safety, and to protect the visual character of an area and the interests of the general public.

2. Applicability

Building height limitations apply to all lots in all zoning districts.

3. Standards

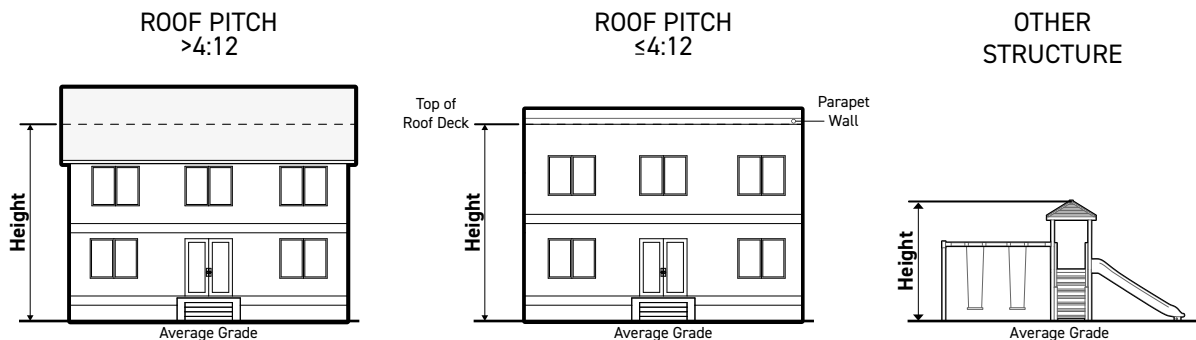
No building, portion of a building or structure can exceed the maximum height in number of feet or stories allowed in the zoning district, unless listed as an exception in 2.6.8.A.5.

4. Measurement

a. Maximum Height in Feet

Height in feet is the number of feet from average grade to:

- i. The mid-point of the roof, for a building with a roof having a pitch greater than 4:12;
- ii. The top of the roof deck, for a building with roof having a pitch of 4:12 and less; and
- iii. The topmost point of the structure, for all other structures.



b. Average Grade

The elevation from which building and structure heights are measured.

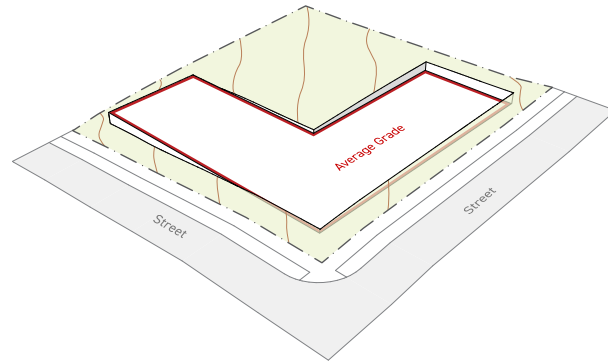
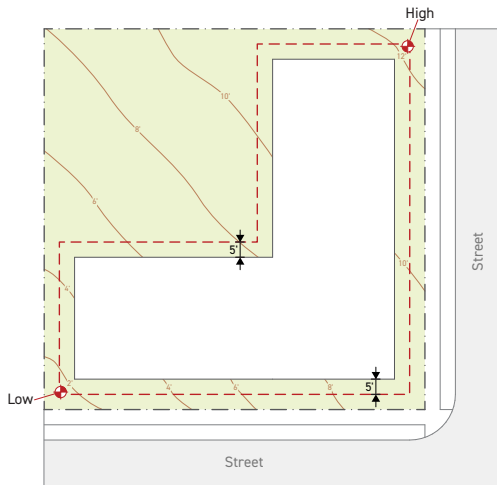
i. General

Average grade may be established either of the following ways:

- a). For a full building; or
- b). For each building module established by ground story modules.

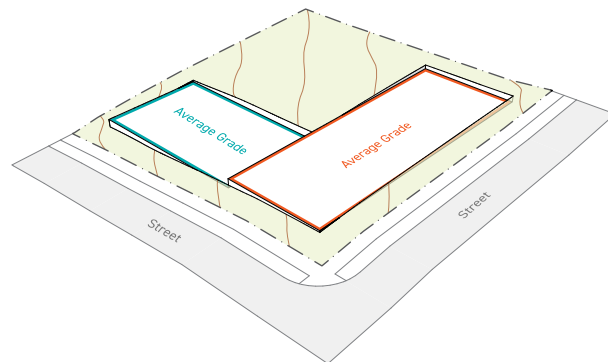
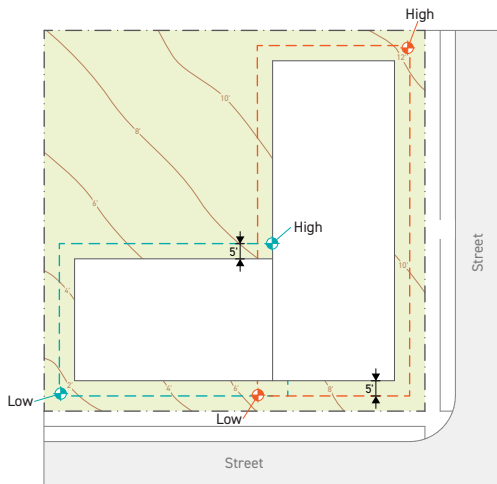
ii. Full Building Method

For the full building method, average grade is calculated by averaging the highest and lowest elevation of existing grade within 5 feet of the building perimeter.



iii. Building Module Method

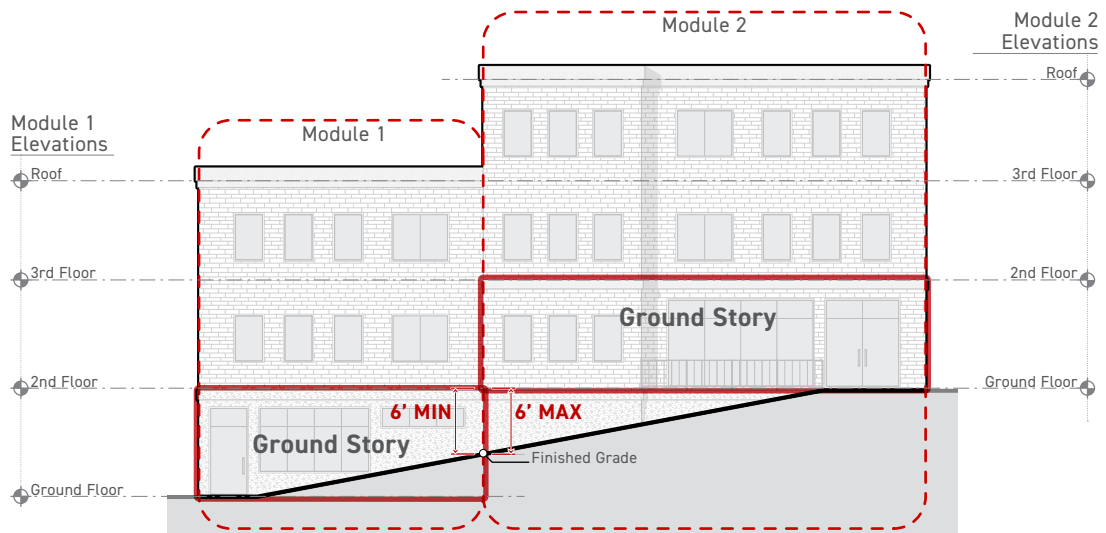
For the building module method, average grade is calculated independent for each building module by averaging the highest and lowest elevation of existing grade within 5 feet of the perimeter of each building module.



c. Maximum Height in Stories

- i. Height in stories is measured as the number of stories above finished grade. The ground story and all upper stories are included in the calculation of maximum height in stories.
- ii. A story is the part of a building included between the surface of one floor and the surface of the next floor above, or if there is no floor above, then the ceiling next above.
- iii. Basements and mezzanines do not count as a story.

- iv. The ground story (or first story) of a building is determined as follows:
 - a). The first (facade) story that is exposed a minimum of 6 feet above finished grade along the full width of the applicable building facade.
 - b). The finished floor of a ground story can be no higher than 6 feet above finished grade for any portion of the building perimeter. This may mean the ground story may change within the same building.



- v. The topmost story of a building is not counted as a full story and is counted as a half story when:
 - a). It is completely within the roof form of the building and less than 50% of the floor area has a clear height of more than 7.5 feet, measured from the finished floor to the finished ceiling; or

b). Dormers do not exceed more than 50% of the front, rear or side building length.



5. Exceptions

The following encroachments are allowed to extend beyond the maximum height limit, as specified below:

		District Height (max)		
		Up to 40'	Between 40' & 70'	More than 70'
Architectural Elements	XXX.			
Encroachment (max)		5'	10'	15'
Setback from roof edge (min)		0'	0'	0'
Safety Barriers	XXX.			
Encroachment (max)		6'	6'	6'
Setback from roof edge (min)		0'	0'	0'
Vertical Circulation	XXX.			
Encroachment (max)		14'	14'	14'
Setback from roof edge (min)		5'	5'	5'
Unenclosed Structures	XXX.			
Encroachment (max)		10'	10'	10'
Setback from roof edge (min)		5'	5'	5'
Mechanical and Electrical Equipment	XXX.			
Encroachment (max)		3'	5'	10'
Setback from roof edge (min)		5'	5'	5'
Flatwork	XXX.			
Encroachment (max)		2.5'	2.5'	2.5'
Setback from roof edge (min)		1'	1'	1'
Vegetation	XXX.			
Encroachment (max)		unlimited	unlimited	unlimited
Setback from roof edge (min)		1'	1'	1'
Signs		see XXX.. Signs		

B. Building Width

The horizontal width of a building parallel to the street.

1. Intent

- a. To promote fine-grained patterns of development and prevent long buildings that are significantly out of context with the City's traditional patterns of development by breaking wide buildings into multiple, clearly distinguished building widths.
- b. To encourage larger projects to provide open space for pedestrians and recreation.

2. Applicability

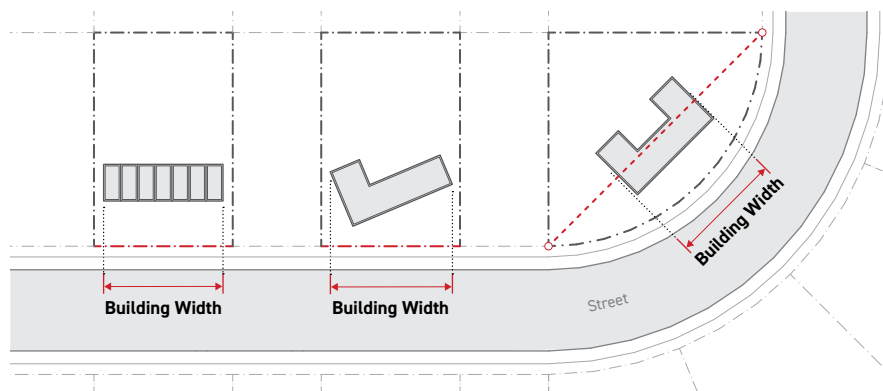
- a. Building width requirements apply to all street-facing building facades.
- b. Building width requirements apply only to portions of buildings located above the maximum finished floor elevation (2.6.10.B. *Finished Floor Elevation*) required by the zoning district.

3. Standards

- a. No building located on a lot may be wider than the maximum building width allowed by the zoning district.
- b. Two buildings can abut one another provided that they have no shared components and are structurally independent from one another.

4. Measurement

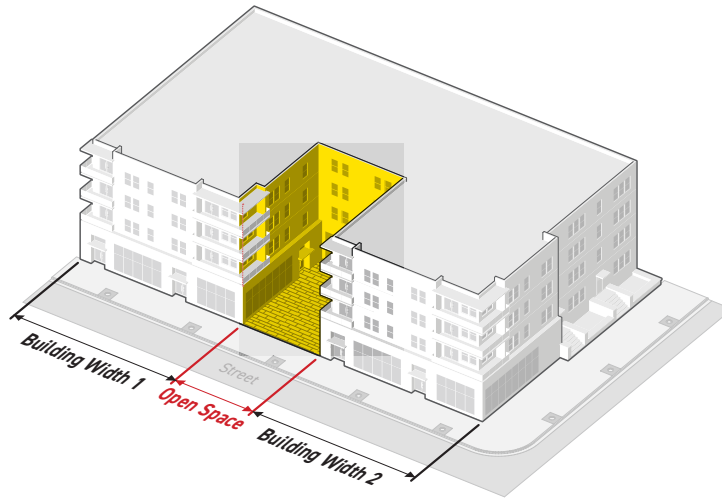
Building width is measured horizontally and parallel to each abutting primary street or side street lot line from one end of a building to the opposite end.



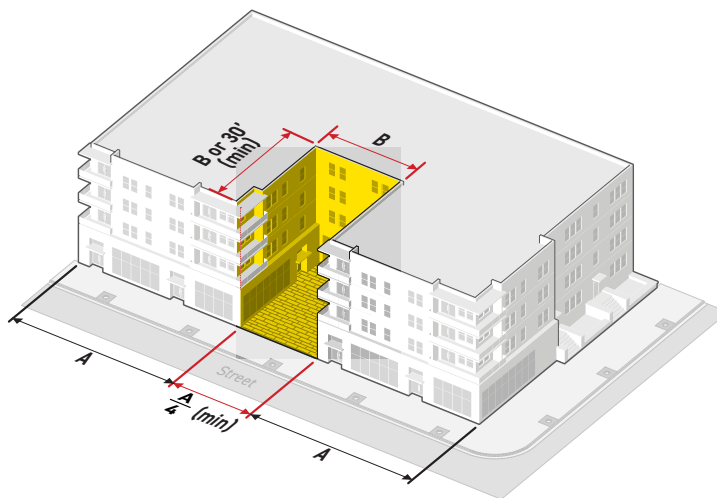
5. Exceptions

An open space meeting the following standards may be used to establish a continuous structure as effectively separate buildings for the purpose of meeting a maximum building width requirement:

- a. A maximum of one open space exception is allowed for each building.



- b. The width of the open space must be no less than 1/4 the width of the widest adjacent building width provided.
- c. The depth of the open space must be at least equal to the width of the open space or 30 feet, whichever is less.



- d. The open space must meet the standards in 2.6.4.B, *Outdoor Amenity Space*.

2.6.9. Active Depth

The horizontal depth of a building that must contain active spaces.

A. Intent

To help minimize the impact of inactive spaces on the public realm and to promote a comfortable, safe, engaging, and attractive build environment.

B. Applicability

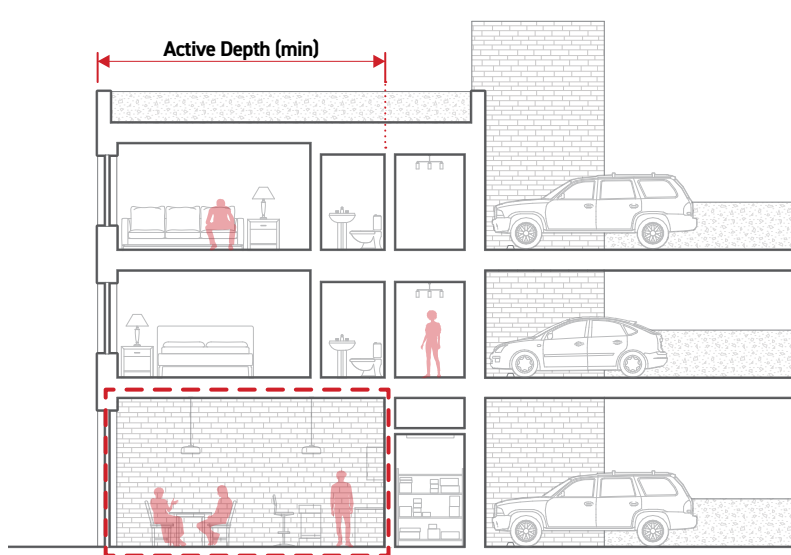
1. Active depth standards apply to the portions of a building used to meet the minimum build-to width requirement. See 2.6.6. *Build-to*.
2. Active depth applies to the ground story only..

C. Standards

1. Applicable portions of a building must provide the minimum active depth required by the zoning district.
2. No more than 20% of the floor area of the required active depth may be used for inactive spaces such as storage, hallways, stairwells, and equipment rooms.
3. Parking spaces and motor vehicle use areas are not allowed in any portion of the required active depth.

D. Measurement

Active depth is measured from the front building facade inward to the interior of the building.



2.6.10. Ground Story

A. Ground Story Height

The floor-to-floor height of the story of a building.

1. Intent

To promote high-quality ground-story spaces that are adaptable and appropriate to their intended use and surrounding context.

2. Applicability

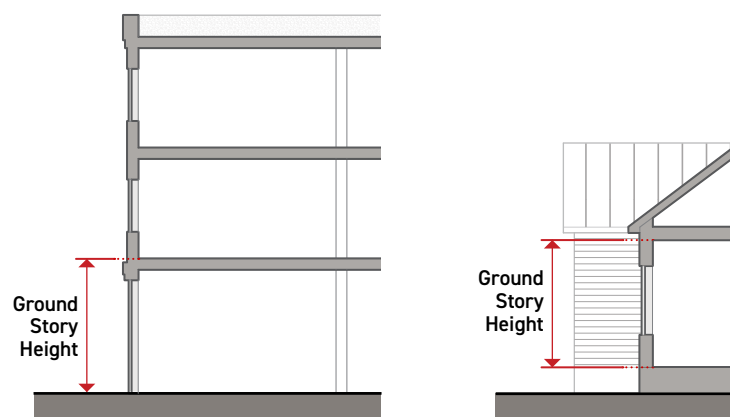
- a. The ground story height standards apply to all buildings that contain habitable space on the ground story.
- b. Where a zoning district regulates ground story height differently for residential and nonresidential uses, residential standards apply to all residential uses, and nonresidential standards apply to nonresidential uses.

3. Standards

Ground story height can be no lower than the minimum ground story height required by the zoning district.

4. Measurement

- a. Ground story height is measured from the top of the finished floor of the ground story to the top of the finished floor of the story above.
- b. Where there is no story above, ground story height is measured from the top of the finished floor to the bottom of the roof structure above.



B. Finished Floor Elevation

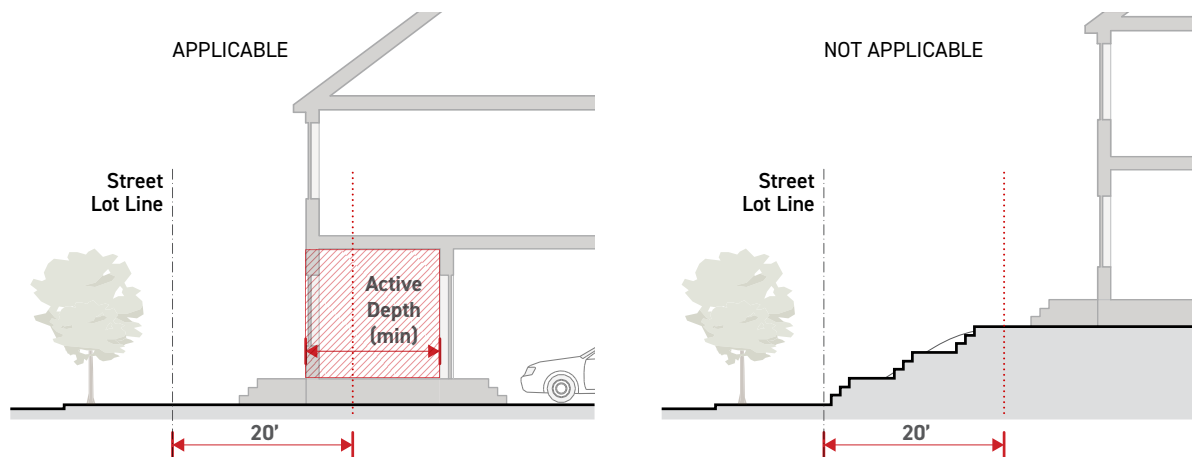
The height of the finished floor associated with the story of a building having its finished floor elevation nearest to finished grade.

1. Intent

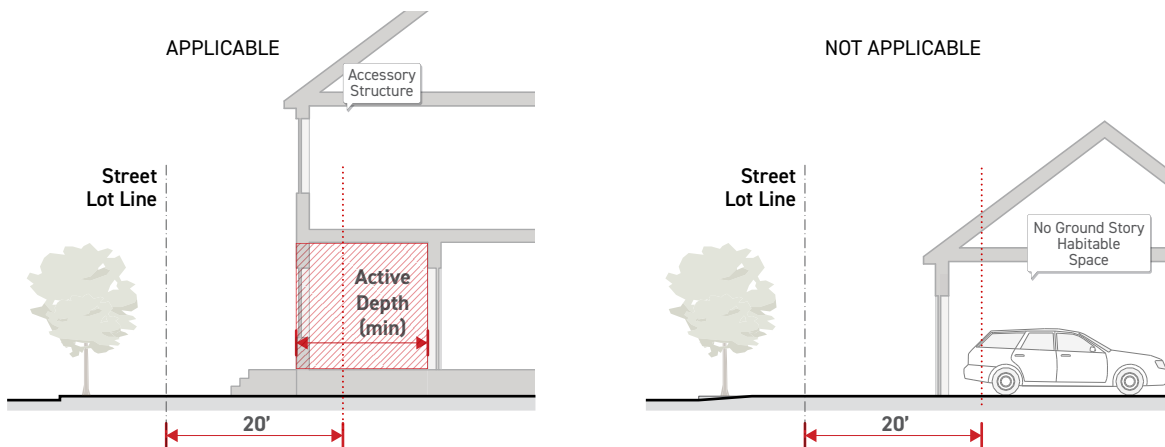
To promote “eyes” on the street, increase the perception of safety and encourage visual connections between the public realm and the exterior of a building.

2. Applicability

- The finished floor elevation standards apply to all buildings that contain habitable space on the ground story and that are located within 20 feet of a primary street or side street lot line.
- Where a zoning district regulates active depth, the finished floor elevation standards apply only to the required ground floor active depth.



- The finished floor elevation standards do not apply to accessory structures, unless the ground story of the accessory structure contains active spaces for a dwelling unit.



- Where a zoning district regulates finished floor elevation differently for residential and nonresidential uses, residential standards apply to all residential uses, and nonresidential standards apply to nonresidential uses.

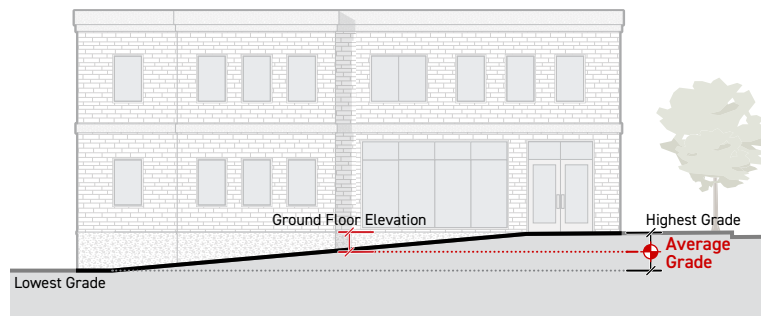
3. Standards

All applicable ground stories must have a finished floor surface meeting the following standards:

- a. An elevation no lower than the minimum finished floor elevation required by the zoning district.
- b. An elevation no higher than the maximum finished floor elevation required by the zoning district.

4. Measurement

- a. Finished floor elevation is measured from average grade to the top of the finished floor of the ground story.
- b. On corner sites, for the purpose of determining finished floor elevation, average grade must be established independently for each street-facing building facade.
- c. Average grade is measured according to [2.6.8. Massing](#).



2.6.11. Windows

A. Ground Story and Upper Story Transparency

The amount of transparent area on a building facade.

1. Intent

To help provide visual interest along the public realm by encouraging visual connections between the public realm and the interior of a building.

2. Applicability

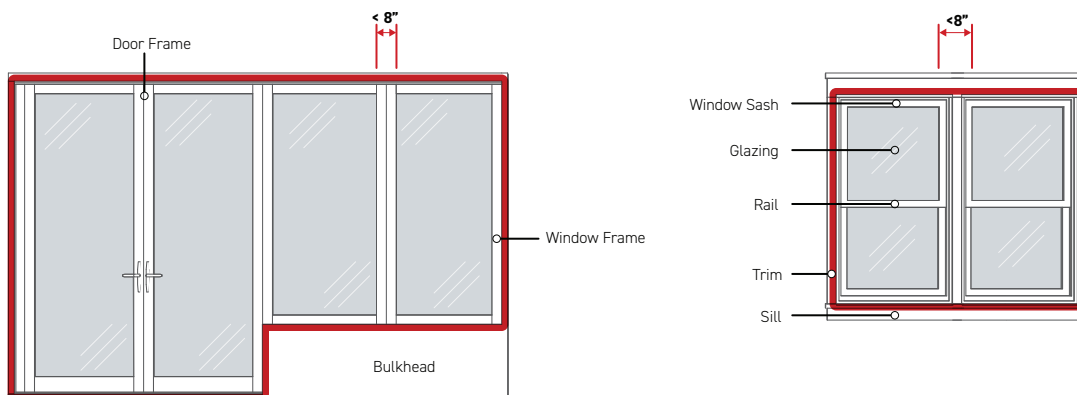
Ground story and upper story transparency standards apply to primary and side street-facing building facades only. The ground story is determined according to *2.6.8. Massing*. Stories above the ground story are considered an upper story.

3. Standards

- a. Ground and upper story building facades must meet the minimum transparency of the zoning district.
- b. To be considered transparent area, window and door glazing must meet the following requirements:

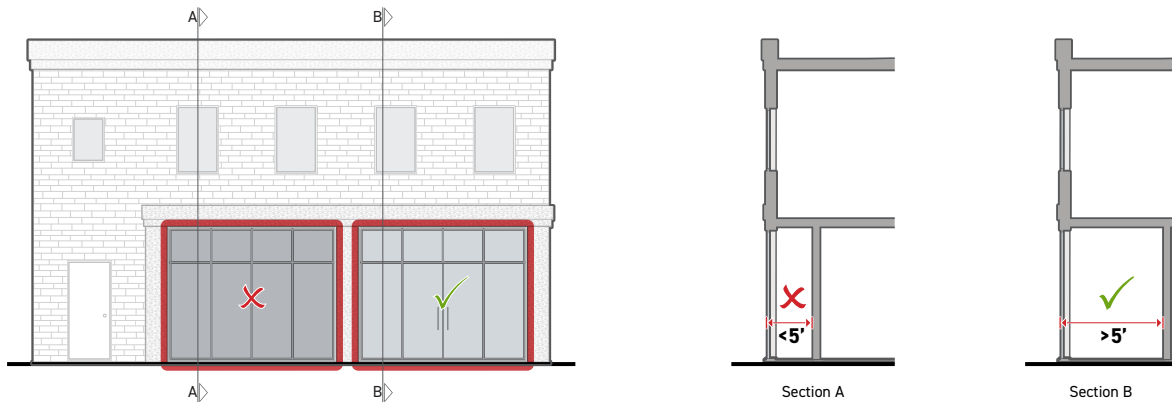
	Visible Light Transmittance	External Reflectance
Ground story	More than 60%	Less than 20%
Upper story	More than 30%	Less than 40%

- c. Muntins, mullions, window sashes, window and door frames, or window and door trim that are integral to window and door assemblies that are less than 8 inches wide may be considered transparent when calculating required percentages.

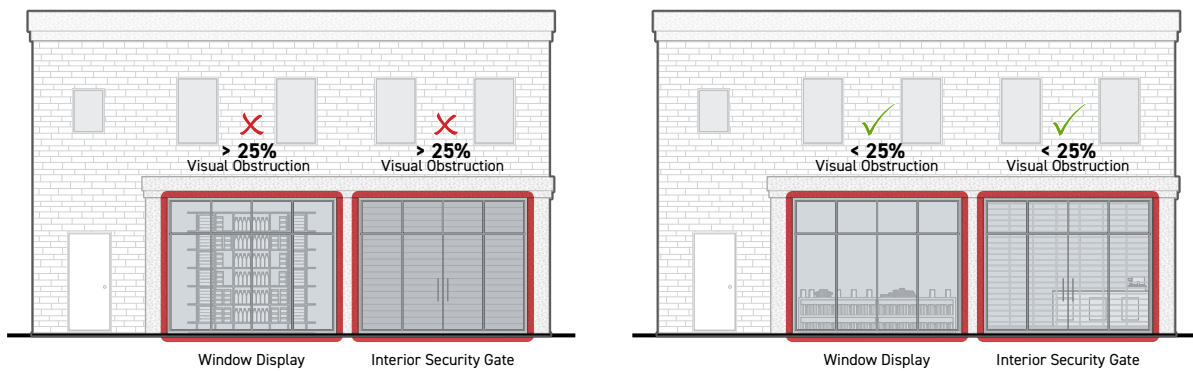


- d. Windows and doors used to meet the transparency requirements may be temporarily covered by operable window treatments, such as curtains or blinds.
- e. Windows and doors obscured by fixed exterior facade screens may count toward transparent area, provided no more than 25% of the total transparent area is covered for any individual window or door opening counting toward transparent area.

- f. Interior walls and other permanent interior visual obstructions cannot be located within 5 feet of the window or door opening used to meet the transparency requirement.



- i. Ground story windows and doors obscured by interior security gates, window signs, and window displays located less than 5 feet from the window opening may count toward transparent area, provided no more than 25% of the total transparent area is covered for any individual window or door opening counting toward transparent area.

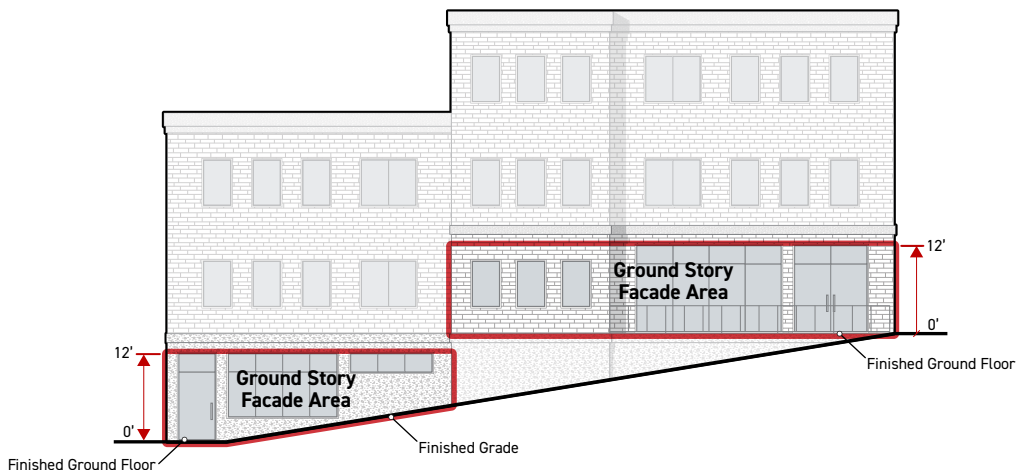


4. Measurement

a. Ground Story

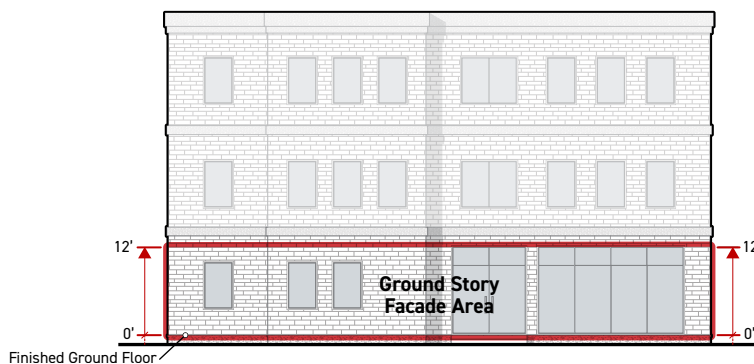
i. General

- a). Ground story transparency is measured as a percentage calculated as the sum of all facade area meeting the measurement requirements for transparency, divided by the total applicable facade area.
- b). No portion of a ground story located below finished grade is included in ground story facade area.



ii. Commercial Ground Story Transparency

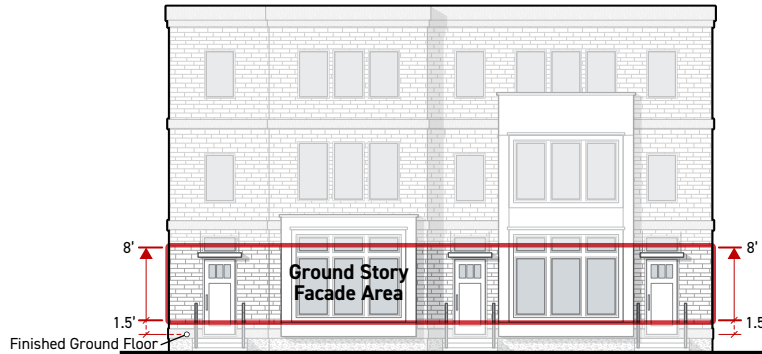
- a). For the purpose of calculating transparency, commercial ground story facade area is measured between 0 and 12 feet above the top of the ground story finished floor elevation.



- b). If the ground story height is less than 12 feet, ground story facade area is measured between the top of the finished floor of the ground story and the top of the finished floor of the story above. When there is no story above, it is measured to the bottom of the roof structure above.

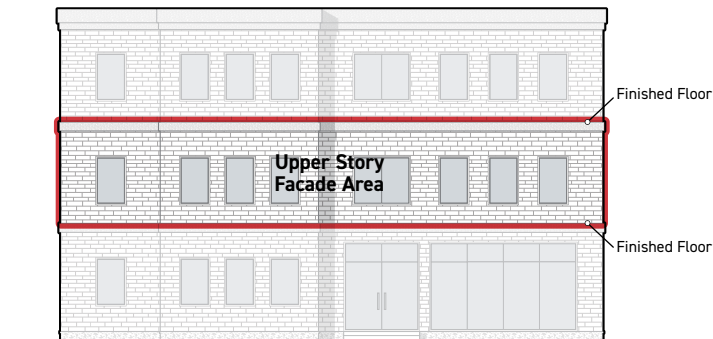
iii. Residential and Non-Commercial Ground Floor Transparency

Ground story facade area is measured between 1.5 and 8 feet above the top of the ground story finished floor elevation.



b. Upper Stories

- i. For the purpose of calculating upper story transparency, upper story facade area is measured as the portion of the facade area between the top of the finished floor for that story and the top of the finished floor above. When there is no story above, it is measured to the bottom of the roof structure above.



- ii. Upper story transparency is measured separately for each individual story of a building facade above the ground floor.

B. Blank Wall Width

The width of ground story facades and foundation walls without window or door openings.

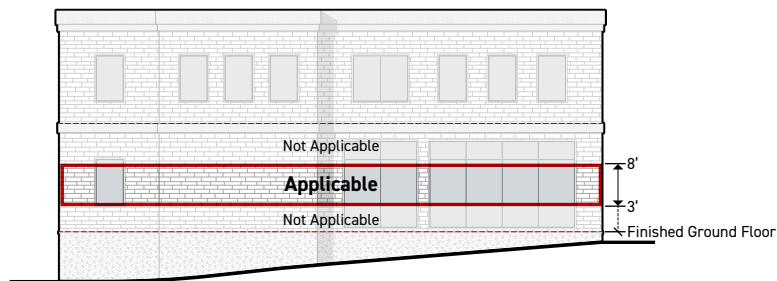
1. Intent

To provide visual interest and activation along the public realm by limiting the area without visual or physical connections between the public realm and the interior of a building.

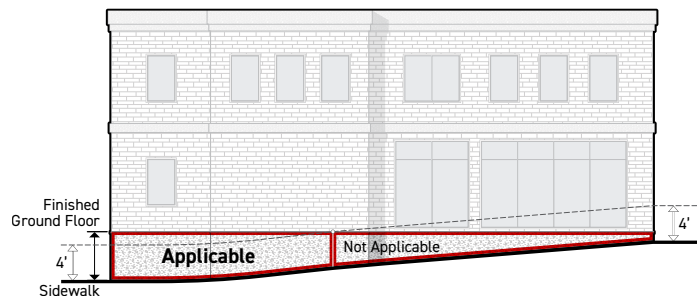
2. Applicability

Blank wall standards apply to the following:

- a. Street-facing facades between 3 and 8 feet from the finished floor elevation of the ground story, measured vertically.



- b. All portions of foundation walls on street-facing building facades that are exposed 4 feet in height or greater above finished grade. If foundation walls are set back more than 10 feet from a sidewalk, exposed height is measured from the lowest elevation of finished grade within 5 feet, measured from and perpendicular to the foundation wall.



3. Standards

a. General

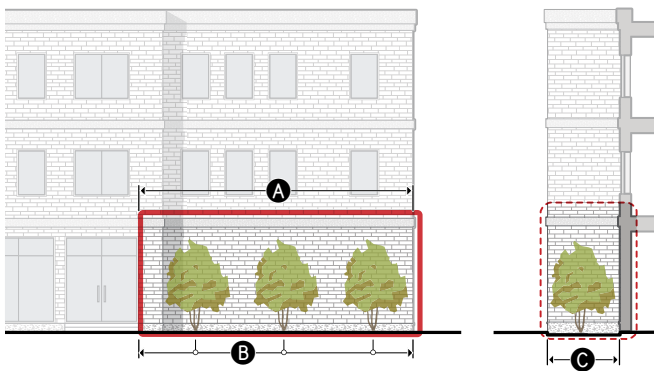
Windows and doors meeting the standards of *2.6.11.A. Ground Story and Upper Story Transparency* on ground story facades or foundation walls may be separated by a distance no greater than the maximum blank wall width specified by the zoning district.

b. Ground Story Facade Blank Wall Treatments

Ground story facades that exceed the maximum allowed blank wall width may apply one or more of the following blank wall treatments and increase the allowed blank wall width by 100%.

SMALL OR MEDIUM TREES

Small trees planted between a ground story facade with no window or door openings and the public realm.

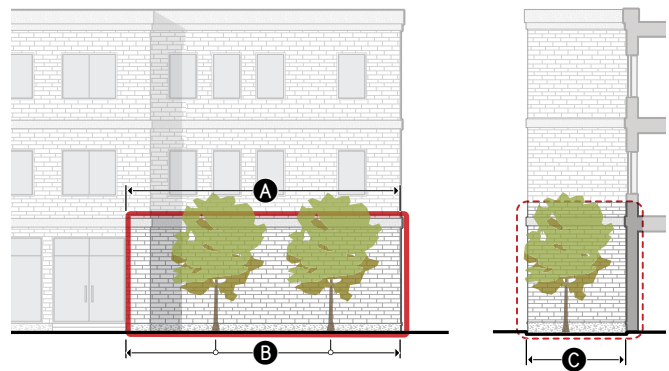


DIMENSIONAL STANDARDS

A Treatment width (min % of blank wall width)	100%
Tree type	Small or Medium
B Planting frequency (min avg.)	5 per 100'
C Planting area depth (min)	7'

LARGE TREES

Large trees planted between a ground story facade with no window or door openings and the public realm.



DIMENSIONAL STANDARDS

A Treatment width (min % of blank wall width)	100%
Tree type	Large
B Planting frequency (min avg.)	3 per 100'
C Planting area depth (min)	15'

LIVING WALL

A permanently fixed assembly located between a ground story facade with no window or door openings and the public realm that supports plants, their growing medium, and irrigation.

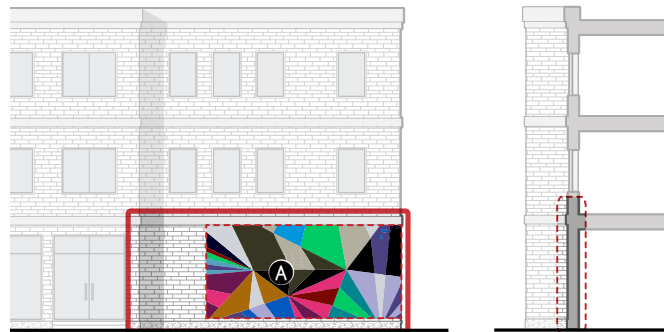


DIMENSIONAL STANDARDS

<p>A Treatment area (min % of blank facade area)</p>	<p>75%</p>
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PUBLIC ART

A noncommercial image attached to the blank wall and is sufficiently different from the building facade. Public art must be reviewed by the Administrator to confirm any mural or art display is not considered a sign.



DIMENSIONAL STANDARDS

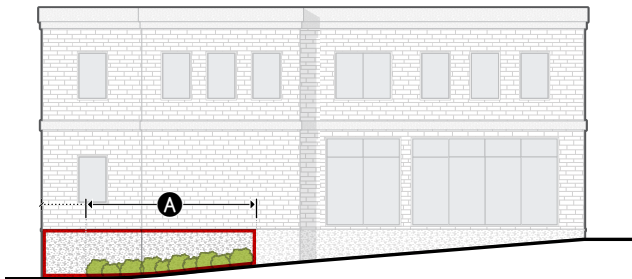
<p>A Treatment area (min % of blank facade area)</p>	<p>75%</p>
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c. Blank Foundation Wall Treatments

Foundation walls that exceed the maximum allowed blank wall width may apply one or more of the following blank foundation wall treatments and increase the allowed blank wall width by 100%.

FOUNDATION PLANTING

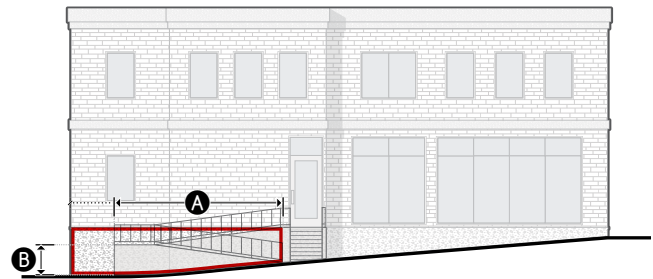
Screening plants located between a foundation wall with no window or door openings and the public realm.



DIMENSIONAL STANDARDS	
A Treatment width (min % of blank wall width)	75%
Plant type	Screening plant
Planting frequency (min avg.)	3 per 10'
Planting area depth (min)	3'

PEDESTRIAN ACCESS

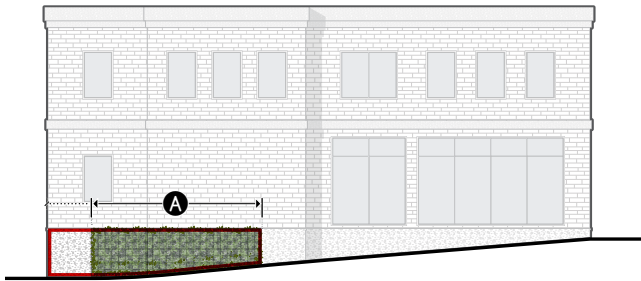
Stairs or ramps providing pedestrian access to a street-facing entrance located between a foundation wall with no window or door openings and the public realm.



DIMENSIONAL STANDARDS	
A Treatment width (min % of blank wall width)	75%
B Height above sidewalk (max)	4'

LIVING WALL

A structure permanently attached to a foundation wall with no window or door openings that supports climbing plants.



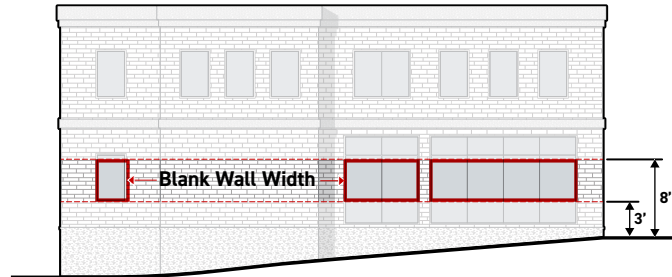
DIMENSIONAL STANDARDS

A	Treatment area (min % of blank foundation wall area)	75%
	Planting area depth (min)	1.5'

4. Measurement

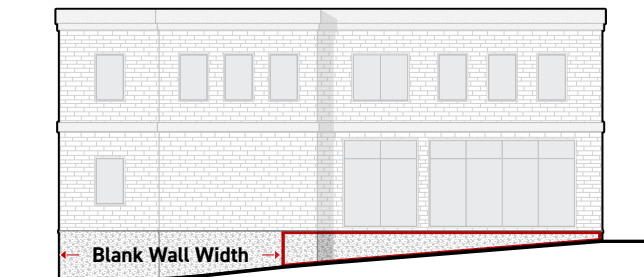
a. Ground Story Facade Blank Wall

- i. Blank wall width is measured horizontally along a street lot line for any width of ground story facade that does not include transparency between 3 and 8 feet above finished floor elevation.
- ii. Blank wall width is measured from the edge of a window or door to the edge of an adjacent window or door, or to the edge of the building.



b. Blank Foundation Wall Width

Blank wall width is measured horizontally and parallel to the street lot line from edge of transparent area to edge of transparent area, and edge of transparent area to edge of the foundation wall.



5. Blank Wall Treatments

a. Treatment Width

Minimum treatment width is measured as a percentage, calculated as the cumulative width of blank wall treatments divided by the total length of blank wall width.

b. Treatment Area

Minimum treatment area is measured as a percentage, calculated as the cumulative area of blank wall treatments divided by the total applicable facade area within the blank wall width.

c. Tree Type

See [XXX. Landscaping](#) for small or medium and large tree planting requirements.

d. Plant Type

See **XXX. Landscaping** for screening plant planting requirements.

e. Planting Frequency

Planting frequency is measured as a ratio of the minimum number of plants required along the total length of the blank wall width. A minimum of one plant of the required plant type must be provided regardless of the width of blank wall treatment.

f. Planting Area Depth

Minimum planting area depth is measured as the horizontal dimension of growing medium at the narrowest point, measured perpendicular to the applicable street lot line. The planting area must be open to the sky for at least the required planting area depth.

g. Height Above Sidewalk

- i. Height above sidewalk is measured vertically from adjacent sidewalk grade to the topmost point of the blank wall treatment.
- ii. Of foundation walls located more than 10 feet from the sidewalk, maximum height above sidewalk is measured from the lowest elevation of finished grade to within 5 feet, measured from and perpendicular to the foundation wall, to the topmost point of the blank wall treatment.

h. Foundation Wall Reveal

Foundation wall reveal is measured vertically from the top of an inactive wall treatment to the finished floor elevation along the entire treated portion of a blank foundation wall.

2.6.12. Doors

A. Street-Facing Entry Spacing

A maximum distance between street-facing doors providing access from the public realm to the interior of a building.

1. Intent

To provide visual interest along the public realm, orient buildings to the public realm and promote greater use and activation of the public sidewalk by limiting distance without physical connections between the public realm and the interior of a building.

2. Applicability

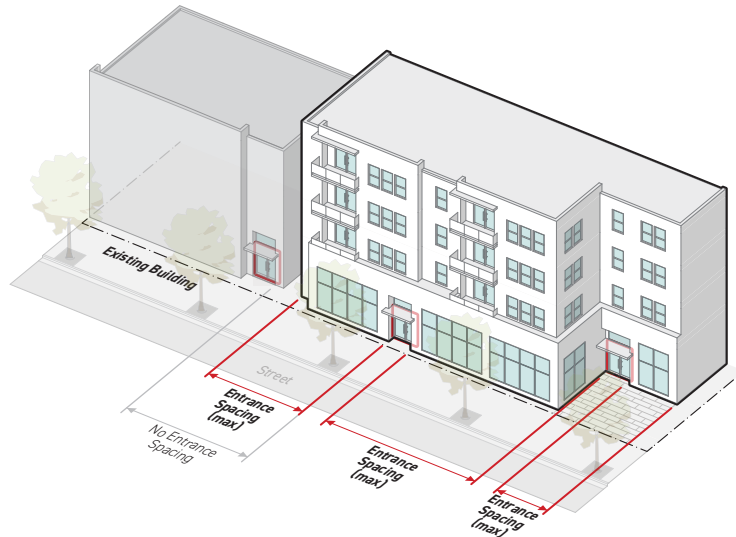
- a. Street-facing entry spacing requirements apply to all ground story street-facing facades.
- b. The maximum street-facing entry spacing requirements must be met for each building and abutting buildings on a lot or within a project site, but are not applicable to buildings unrelated to the project.
- c. Accessory structures do not have to provide a street-facing entry, and are not included in the calculation of maximum street-facing entry spacing requirement.

3. Standards

- a. A street-facing entry must be provided to meet the street-facing entry spacing requirements of the zoning district.
- b. Street-facing entries must not be located farther apart than the maximum entry spacing allowed by the zoning district.
- c. To qualify as a street-facing entry, building entrances must meet the following standards:
 - i. Be located on a street-facing ground story facade;
 - ii. Provide both ingress and egress pedestrian access to the ground story of the building;
 - iii. Remain operable at all times. Access may be controlled and limited to occupants; and
 - iv. Must access an occupiable space.
- d. A primary street-facing entry is required for all buildings.
- e. A side street-facing entry is only required when the building along the side street is greater than the maximum entry spacing requirement for the zoning district.
- f. On a corner lot, an angled entry at the corner of the building where the primary and side street-facing facades meet may be used to meet the requirement for a street-facing entry along both streets.
- g. Non-required entries are allowed in addition to required entries.

4. Measurement

Entry spacing is measured parallel to the street lot line from the edge of a door to the edge of an adjacent door, or to the edge of the building.



B. Entry Feature

Improved design requirements applied to entrances along the public realm.

1. Intent

To promote visual interest along the public realm, provide greater shelter and comfort to users, and highlight connections between the public and private realm to improve walkability.

2. Applicability

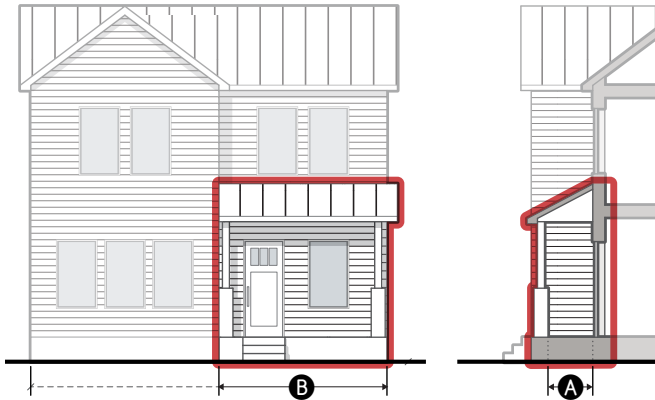
Entry feature standards apply to all required street-facing entrances where entry features are required by the zoning district.

3. Standards

- a. Each required street-facing entrance must include an entry feature meeting the standards for one of the following entry feature options.
- b. Required entry features must abut and provide direct access to a street-facing entrance. An entrance directly accessed from an entry feature counts as a street-facing entrance, regardless if it faces the street.
- c. Required entry features must provide direct access from the public realm associated with the primary or side street lot line.

PORCH

A wide, raised platform, projecting in front of a street-facing entrance, that is entirely covered but not enclosed.

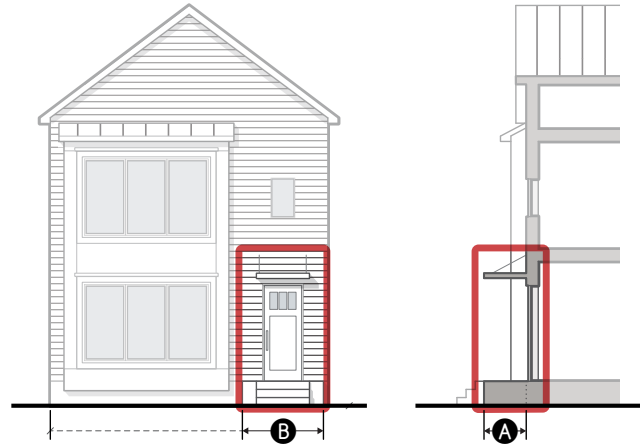


DIMENSIONAL STANDARDS

Ⓐ Depth (min)	5'
Ⓑ Width (min % of building width)	30%
Covered entrance	Required
Enclosed	Not allowed

RAISED ENTRY

A raised platform accessed from an exterior staircase, providing covered access to a street-facing entrance.

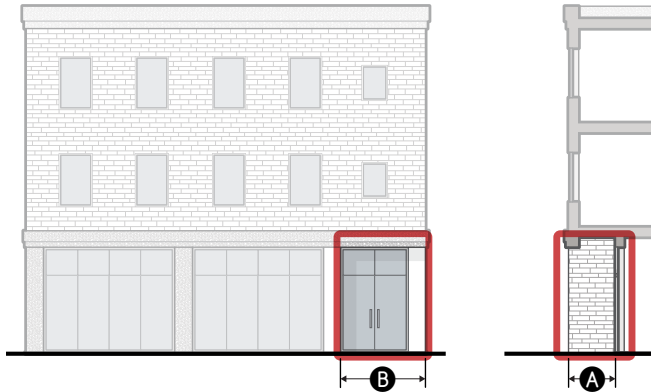


DIMENSIONAL STANDARDS

Ⓐ Depth (min)	3'
Ⓑ Width (min)	4'
Covered entrance	Required
Enclosed	Not allowed

RECESSED ENTRY

A space set behind the primary facade plane providing sheltered access to a street-facing entrance.



DIMENSIONAL STANDARDS

Ⓐ Depth (min)	3'
Ⓑ Width (min)	5'
Covered entrance	Required
Enclosed	Not allowed

COVERED ENTRY

A space that provides sheltered access to an at-grade street-facing entrance with an overhead projecting structure.

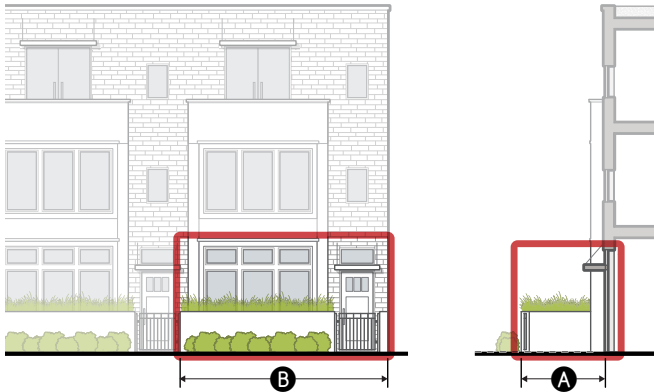


DIMENSIONAL STANDARDS

Depth (min)	n/a
Width (min)	n/a
Covered entrance	Required
Enclosed	Not allowed

FORECOURT

A yard screened with a short wall, fence or hedge that provides significant privacy for occupants located on the ground story, near sidewalk grade.



DIMENSIONAL STANDARDS

Ⓐ Depth (min)	8'
Ⓑ Width (min)	10'
Covered entrance	Required
Fence or wall height (min/max)	2.5' / 4'
Enclosed	Not allowed

4. Measurement

a. Depth

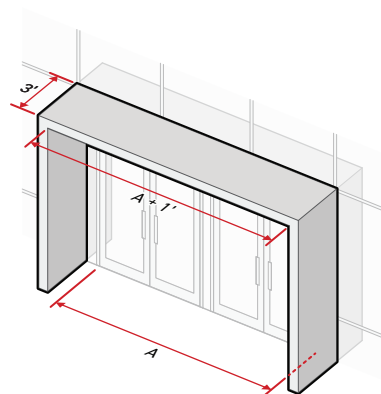
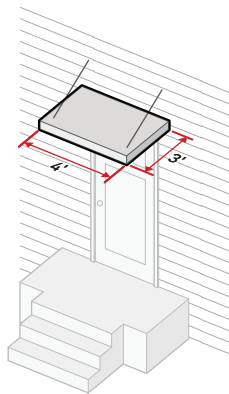
Minimum depth is measured as the horizontal dimension at the narrowest point of an entry feature, perpendicular to the applicable street lot line.

b. Width

- i. When specified in feet, width is measured as the total width of an entry feature, measured parallel to the street lot line.
- ii. When specified as a percentage, width is measured as the total width of the entry feature divided by the total width of the building that the entry provides access to, measured parallel to the street lot line. When the calculation for an entry feature width percentage results in a fraction, the result is rounded up to the nearest whole number.

c. Covered Entrance

- i. When required as a part of an entry feature, a canopy, roof, or other sheltering structure must cover the exterior area immediately abutting the associated street-facing entry.
- ii. The minimum depth of the covered area is 3 feet.
- iii. The minimum width of the covered area is 4 feet or the width of the street-facing entry plus 1 foot, whichever is greater.



A = Street-Facing
Entry Width